

GENERAL NOTES

1. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS OF SECTIONS 24-401 TO 24-411, INCLUSIVELY, OF THE REVISED STATUTES OF THE STATE OF ARIZONA.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERROR OCCURS OR CONDITION NOT COVERED IN DRAWINGS IS ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL PAY ALL FEES FOR PERMITS, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK.
6. SLOPE ALL GRADES AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
7. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER ACCEPTABLE TO OWNER AND GUARANTEED ONE (1) YEAR.
8. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
9. CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).
10. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.
11. CONTRACTOR SHALL PROVIDE AND PAY FOR TEMPORARY LIGHT, POWER AND WATER.
12. CONTRACTOR SHALL KEEP PREMISE FREE FROM ACCUMULATION OF RUBBISH AND SHALL LEAVE THE WORK "BROOM CLEAN". SITE SHALL BE LEFT "RAKE CLEAN".
13. THE CONTRACTORS SHALL EMPLOY THE SERVICES OF A QUALIFIED SOILS AND CIVIL ENGINEER TO ESTABLISH GRADES, LOCATION OF BUILDING AND TO CERTIFY COMPLIANCE WITH COMPACTION REQUIREMENTS FOR THE PROJECT.
14. CONTRACTOR SHALL VERIFY THAT ALL FOOTINGS, SUBTERRANEAN TANKS, VOIDS, ETC., ARE REMOVED FROM THE SITE WITH HOLES PROPERLY BACKFILLED AND COMPACTED TO FULLY SUPPORT THE LOAD INTENDED WITH COMPACTION CERTIFIED BY A QUALIFIED SOILS ENGINEER.
15. SUB-SOIL TREATMENT - SUBGRADE AT BUILDING AND SLAB ADJACENT TO BUILDING TO BE TREATED AGAINST TERMITES. PROVIDE OWNER WITH WRITTEN GUARANTEE OF THE EFFECTIVENESS AGAINST INFESTATION FOR A FIVE (5) YEAR PERIOD.
16. THE STARTING OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.
17. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES IN UTILITY EASEMENTS AND PROTECT SAME.
18. COORDINATE WITH IRRIGATION SPRINKLER SYSTEM CONTRACTOR TO PROVIDE P.V.C. SLEEVES, LINES, ETC., TO ALL PLANTING AREAS AS REQUIRED.
19. ALL COMPONENTS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
20. CONTRACTOR SHALL VERIFY ALL ROOF MOUNTED EQUIPMENT LOADS AND NOTIFY THE ARCHITECT OF ANY CHANGES IN SIZE, WEIGHT, AND LOCATION OR ADDITIONAL LOAD TO THESE INDICATED ON THE DRAWINGS.
21. SEE GENERAL STRUCTURAL NOTES, SHEET A-3.

PROJECT DATA

CODE:	1979 UBC
ZONING:	C-2
OCCUPANCY:	A3
CONSTRUCTION TYPE:	V One Hour (SEE NOTE BELOW)
ALLOWABLE FLOOR AREA (BASIC):	10,500 S.F.
AREA INCREASE:	75% Separation on all sides min. width condition is 35'-15' factor x 5% = 75% increase
ALLOWABLE FLOOR AREA W/INCREASE:	18,375 S.F.
ACTUAL FLOOR AREA:	11,624 S.F. (Building) 2,580 S.F. (Canopy)
NET SITE AREA (ENTIRE SITE):	9.1520 Acres
'SHOWBIZ' PAD SIZE:	1.0 Acre
SITE COVERAGE:	3.56%
PARKING:	Required: 4,430 S.F. Games & Circ. @ 1/75 = 59 Spaces 3,421 S.F. Dining @ 1/50 = 68 Spaces Other Areas = 00 Spaces Total Parking Required: = 128 Spaces Parking Provided: = 160 Spaces
ASSESSORS PARCEL NUMBER:	134-28-001A
FIRE RESISTIVE SUBSTITUTION:	A fully Automatic Sprinkler System will be provided in lieu of One Hour Construction, as provided for in Section 508 of the 1979 UBC.

PROJECT INFORMATION

PROJECT:	'SHOWBIZ PIZZA PLACE' S-M PIZZA INC., STORE #2 856 South Alma School Road Mesa, Arizona 85202
OWNER:	S-M PIZZA INCORPORATED 2990 East Northern Avenue, Suite 101-C Phoenix, Arizona 85020
ARCHITECT:	UMBERGER ASSOCIATES 815 East Camelback Road, Suite 205 Phoenix, Arizona 85014 (602) 264-2617
CONTRACTOR:	TIBSHRAENY BROTHERS CONSTRUCTION, INC. 2111 West University Drive P.O. Box 1029 Mesa, Arizona 85201 (602) 969-2201
EXPLANATION:	'SHOWBIZ PIZZA PLACE' is a franchised pizza restaurant of approximately 12,000 square feet (single level) which will contain kitchen areas, dining areas, and a large game room. The restaurant will occupy a pad in the south east corner of a future neighborhood shopping center located on the southwest corner of the intersection of Eighth Avenue and Alma School Road in Mesa, Arizona.

CONSULTANTS

STRUCTURAL ENGINEER:	McCAUSLAND ENGINEERING 7310 East Stetson, Suite #3 Scottsdale, Arizona 85251 (602) 949-0300
MECHANICAL/PLUMBING:	JEFFRIES ENGINEERING 354 East Virginia Avenue Phoenix, Arizona 85004 (602) 264-0939
ELECTRICAL:	WRIGHT ELECTRICAL CONSULTING P.O. Box 26596 Tempe, Arizona 85282 c/o (602) 264-2617
CIVIL:	FRANZOV-CORY 4022 East Broadway Road, Suite #121 Phoenix, Arizona 85040 (602) 276-2435



INDEX TO DRAWINGS

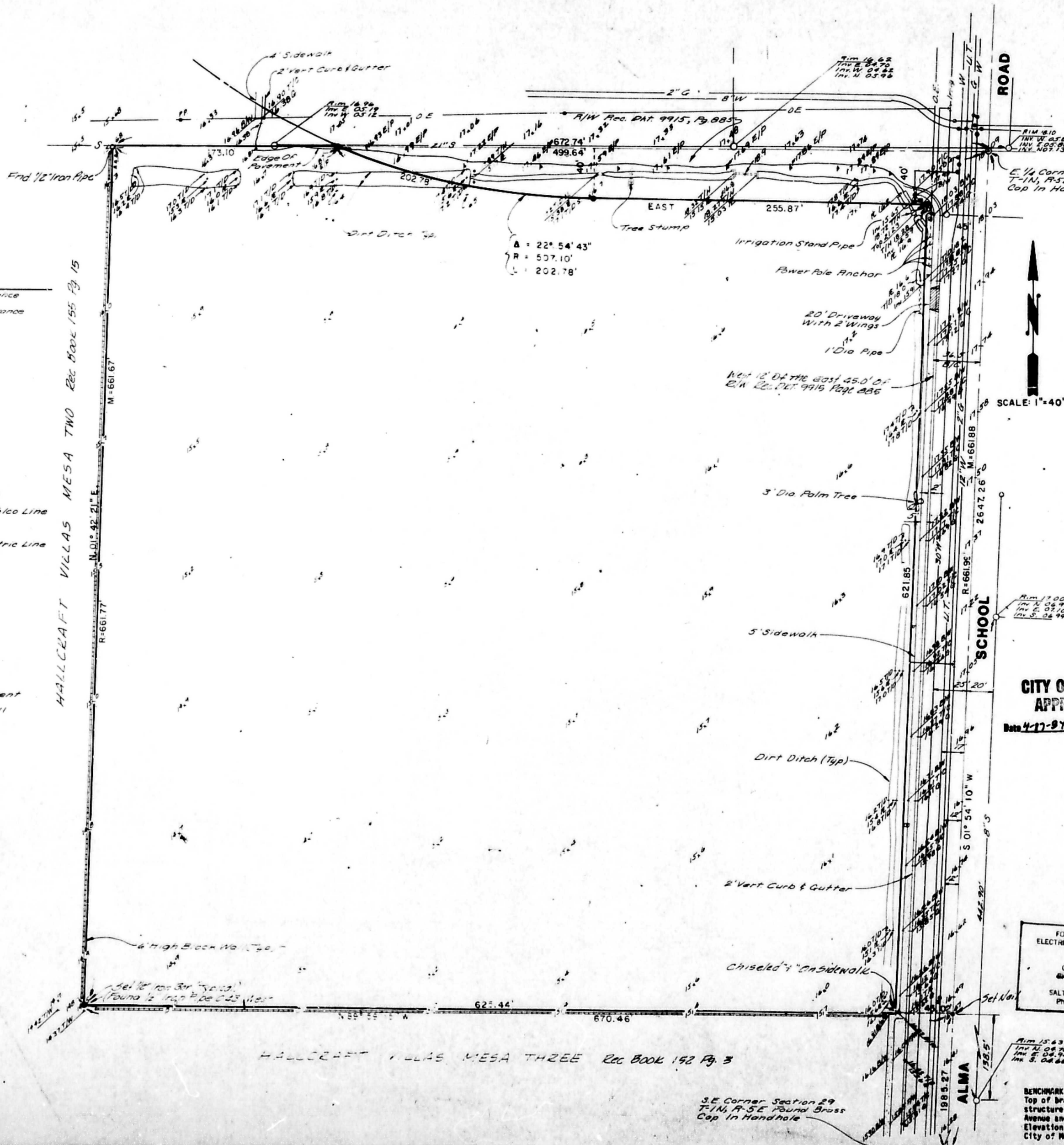
CS	COVER SHEET
SS	SITE SURVEY
C-1	GRADING & DRAINAGE PLAN
C-2	WATER & SEWER PLAN
C-3	SEWER LINE PROFILE
A-1	SITE PLAN/SITE DETAILS
A-2	ARCADE PAVING PLAN/PARTITION SCHEDULE
A-3	FOUNDATION PLAN/GEN. STRUCT. NOTES
A-4	FLOOR PLAN
A-5	ELEVATIONS
A-6	BUILDING SECTION
A-7	DOOR DETAILS/ROOF PLAN
A-8	ROOF FRAMING PLAN
A-9	REFLECTED CEILING PLAN
A-10	INTERIOR ELEVATIONS
A-11	INTERIOR ELEVATIONS
A-12	EQUIPMENT & SIGN PLAN
A-13	SHOWROOM PLATFORM/DETAILS
A-14	SHOWROOM MISC. DETAILS
A-15	MISCELLANEOUS DETAILS
A-16	MISCELLANEOUS DETAILS
A-17	MISCELLANEOUS DETAILS
A-18	MISCELLANEOUS DETAILS
A-19	DETAILS
M-1	MECHANICAL FLOOR PLAN
M-2	MECHANICAL DETAILS
P-1	PLUMBING FLOOR PLAN
P-2	PLUMBING DETAILS/NOTES
P-3	PLUMBING SCHEMATICS
E-1	ELECTRICAL FLOOR PLAN
E-2	ELECTRICAL LIGHTING PLAN
E-3	ELECTRICAL NOTES/DETAILS
E-4	ELECTRICAL DIAGRAMS
E-5	ELECTRICAL SITE PLAN
E-6	RACEWAY DIAGRAMS/CONTROL PANEL
E-7	ELECTRICAL @ SHOWROOM PLATFORM
E-8	ELECTRICAL PANEL SCHEDULES
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN

CITY OF MESA
BUILDING INSPECTION DIVISION
NOTICE

THE FINAL INSPECTIONS MARKED BELOW MUST BE APPROVED:

<input checked="" type="checkbox"/>	BUILDING INSPECTION	834-2314
<input checked="" type="checkbox"/>	FIRE MARSHALL	834-2622
<input checked="" type="checkbox"/>	ENGINEERING DEPT	834-2248
<input checked="" type="checkbox"/>	ZONING & SIGNS	834-2311

IT IS UNLAWFUL TO OCCUPY THIS BUILDING WITHOUT A CERTIFICATE OF OCCUPANCY HAVING BEEN ISSUED BY THE BUILDING OFFICIAL.



LEGEND

- R. Recorded Distance
- M. Measured Distance
- Pavement
- Concrete
- S. Sewer Line
- Manhole
- W. Water Line
- Water Valve
- Water Meter
- Fire Hydrant
- G. Gas Line
- Gas Valve
- Irrig. Irrigation Line
- U.T. Underground Telco Line
- Telco Riser
- O.E. Overhead Electric Line
- Power Pole
- Traffic Signal
- Traffic Sign
- T/C Top Of Curb
- G. Gutter
- B/W Back Of Walk
- T/D Top Of Ditch
- E. Flow Line
- E/P Edge Of Pavement
- T/H Top Of Headwall

ARCHITECTS TOPOGRAPHY

for
TIBSHRAENY DEVELOPMENT CO.
 2111 W. University Drive
 Mesa, Arizona 85201

LEGAL DESCRIPTION:

The East half of the North half of the Northeast quarter of the Southeast quarter of Section 29, Township 1 North, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT the East 45.0 feet for roadway, and
 EXCEPT that portion described as follows:

Beginning at the East quarter corner of said Section 29;
 thence South 1° 54' 10" West along the East line of the Southeast quarter of said Section 29, 40.02 feet;
 thence West parallel with the North line of the said Southeast quarter 45.02 feet to the point of beginning;
 thence continuing West 255.87 feet to a point on the arc of a circle, the center of which bears North 507.10 feet;
 thence Northwest along the arc of said circle through a central angle of 22° 54' 43" a distance of 202.78 feet to the North line of the said Southeast quarter;
 thence East along the said North line 454.62 feet;
 thence South 1° 54' 10" West parallel with the East line of the said Southeast quarter 40.02 feet to the point of beginning.

Described property being in and forming a part of the City of Mesa and comprising an area of 9.1520 net acres more or less.

**CITY OF MESA
 APPROVED**

Date 4-17-84 By [Signature]

OCCUPANCY GROUP: A-3
 CONSTRUCTION TYPE: 5 INR
 NOTE: THESE APPROVED PLANS AND SPECIFICATIONS ARE TO BE KEPT ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
 CITY OF MESA
 DEPT. OF BUILDING INSPECTIONS

UTILITY NOTE:

Information concerning existing underground utilities has been obtained from existing records, however, they may not necessarily reflect the exact location of such facilities. Any excavation or construction activity within the property should be done only after contacting Blue Stake for exact location of facilities on this site: Phone 263-1100

TITLE SEARCH NOTE:

The information shown hereon was compiled without benefit of a Title Search and therefore does not necessarily reflect the true condition of the premises with respect to easements, rights-of-way, agreements, etc. of public records.

FOR APPROVAL OF
 ELECTRIC SERVICE LOCATION
 CONTACT

CITY OF MESA
 Phone: 834-2295

SALT RIVER PROJECT
 Phone: 267-9161

CERTIFICATION:

I hereby certify the above described Architect's Topography was surveyed under my direction on the date shown and this Plat of Survey is a true and correct representation thereof to the best of my knowledge.

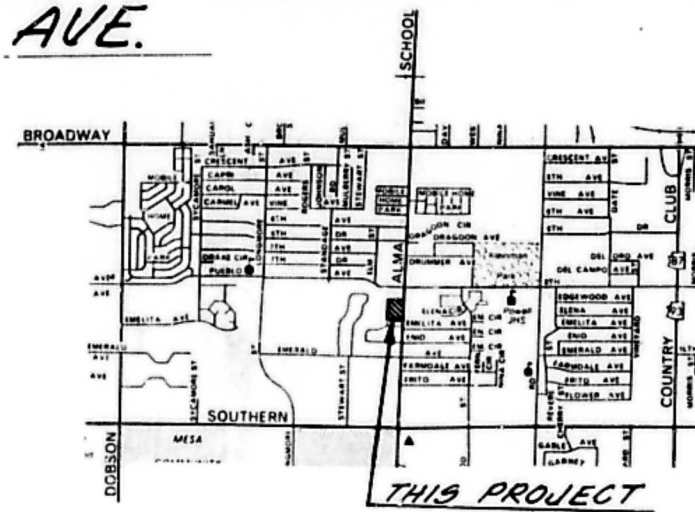
Signature: [Signature] Date: 7/20/83
 Name: Robert M. Brady Reg. No. 6051

BENCHMARK:
 Top of brass cap on Salt River Irrig. structure at Northwest corner of 8th Avenue and Alma School Road.
 Elevation = 1219.82
 City of Mesa Datum

BRADY LAND SURVEYING
 Robert M. Brady P.E.
 Dennis M. Brady L.S.
 1042 E. Guadalupe Rd. Suite 100
 Tempe, Arizona 85283
 Phone: 839-4000

TIBSHRAENY DEVELOPMENT
 DRAWN CHECKED JOB NO.
 D.U.C. P.H.B. 883-06-230

8TH AVE.



VICINITY MAP
N.T.S.

ROAD

SCALE; 1"=30'

AREA I
WATER SURFACE
ELEV. 10.15 @ P
BOTT. ELEV. 15.00
SIDE SLOPE 3:1
RETENTION 1813 ft 3

NEW 700 S.F. 6" CONC. DRIVE
PER MESA DET. M-42 TYPE "A"

SECTION A-A
N.T.S

500 S.F. 8" CONC. DRIVE
RESA DET. M-42 TYPE "A"

VERTICAL CURVE DETAIL
(CENTERLINE GRADES FOR MAIN ENTRY) N.T.S.



DRYWELL DETAIL

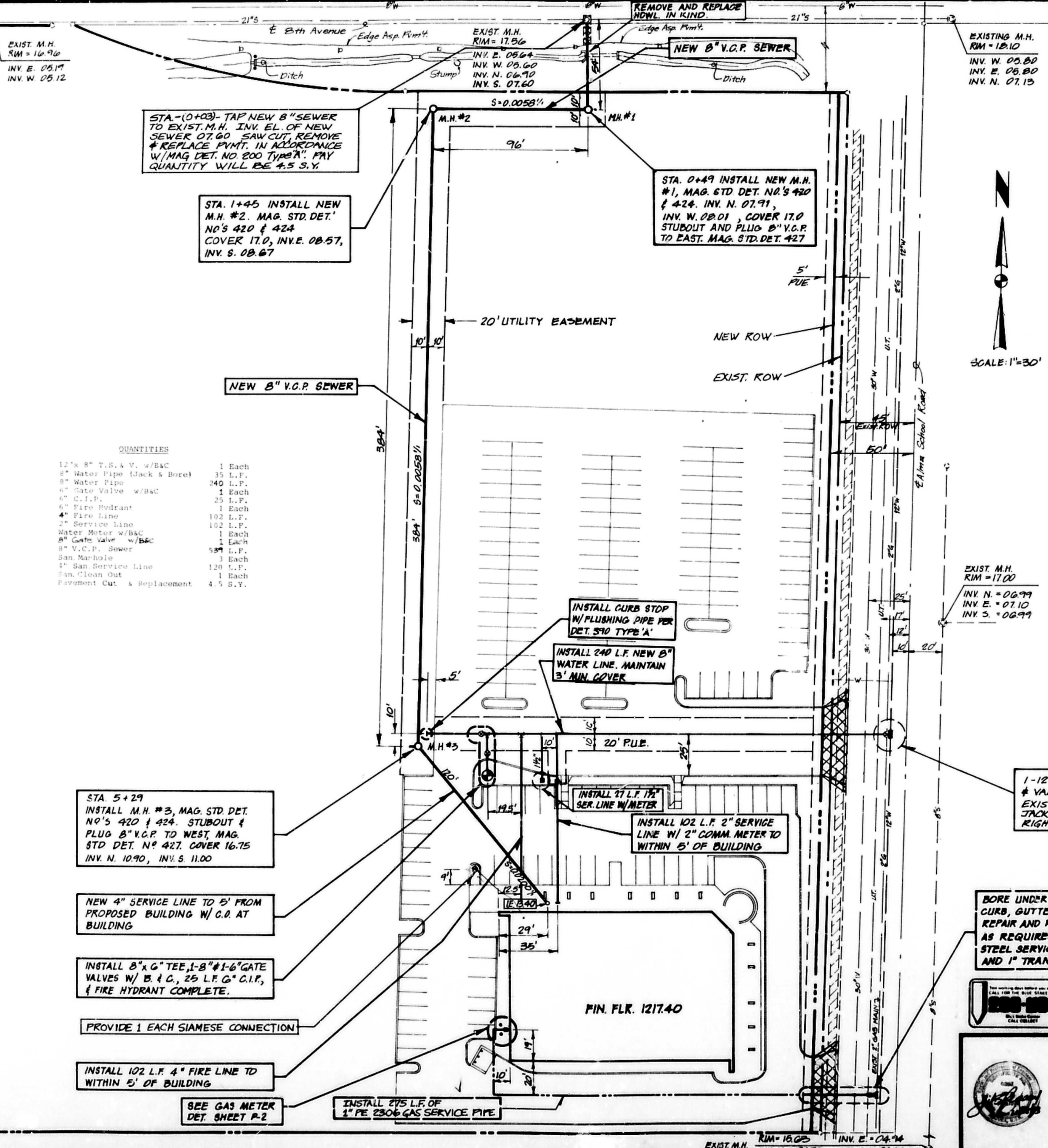
RETENTION DATA		
Total Area		104,320 sq. ft.
AREA 1		
231' x 220' x $\frac{16}{8} \times 40 \times 53$		= 16,400 sq. ft.
Landscape Area		
Islands		
Frontage x W	4' x 26' x 3	= 312
Side Entry Dr.	10' x 175' x 21' x	
Frontage x W	4.5' x 68'	= 2,492
Total Landscape Area		2,809 sq. ft.
Pavement Area		15,591 sq. ft.
Retention Requirements		
148,192.851 x .7809 (151) (1.25)		= 9,850 cu. ft.
AREA 11		
214' x 250' x $\frac{16}{8} \times 42 \times 40 \times 53$		= 55,652 sq. ft.
Landscape Area		
S. Side Slope Dr. S. x 210' x 2		= 1,440
S. Side Blvd.	10' x 15' x 10' x 15' x 15' x 15'	= 904
S. Side Slope Dr. S. x 210' x 2		= 1,440
N.W. Cor. Blvd.	8' x 27' x 4' x 17'	= 911
N.E. Cor. Blvd.	8' x 27' x 4' x 17'	= 911
Frontage x S. Side	13' x 168' x 10' x 17'	= 214
Entry Dr.	4.5' x 68' x 16' x 15' x 15'	= 1,440
Total Landscape Area		3,085
Pavement & Road Area		16,170
Retention Requirements		
148,192.851 x .7809 (151) (1.25)		= 10,519 cu. ft.
Total Retention Required		
		20,364 cu. ft.
Retention Provided		
Area 1		
Landscape Frontage Basin x		1,813 cu. ft.
Parking Area Basin		10,125 cu. ft.
Area 11		
Total Retention Provided		8,693 cu. ft.
Disposal of Retention		
Landscape Area - Direct Percolation		
Parking Area		
15,000 cu. ft.		
0.5 inch (12)(1360) a/hr		= 5.28 hr.

APPROVAL
CITY OF MESA

BY: _____
(FOR) CITY ENGINEER DATE _____

RECEIVED
R
MAR 29 1984
CITY OF MESA
BUILDING INSPECTION

Revision		Date	By
Design: <i>M.J. ON.</i>	 SHAW ENGINEERING, INC. 425 S. 9th Ave. Suite 201 Tempe, AZ 85281 (602) 968-7676	 SHAW DIZ PIZZA INC. GRADING & DRAINAGE PLAN	
Drawn: <i>REED</i>			
Check: <i>A/B</i>			
Scale: <i>As SHOWN</i>			
Date: <i>MAR. 04</i>	Job No. <i>161-01-FP-02</i>	Sheet <i>C1</i> of	



QUANTITIES

12" x 8" T.S. & V. w/B&C	1 Each
8" Water Pipe (Jack & Bore)	35 L.F.
8" Water Pipe	240 L.F.
6" Gate Valve w/B&C	1 Each
6" C.I.P.	25 L.F.
6" Fire Hydrant	1 Each
4" Fire Line	102 L.F.
2" Service Line	102 L.F.
Water Meter w/B&C	1 Each
8" Gate Valve w/B&C	1 Each
8" V.C.P. Sewer	539 L.F.
San Manhole	3 Each
4" San Service Line	120 L.F.
San Clean Out	1 Each
Pavement Cut & Replacement	4.5 S.Y.

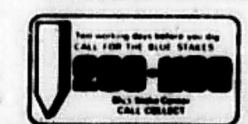
- GENERAL NOTES
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS AS AMENDED BY THE CITY OF MESA AND ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
 - INSPECTION AND STAKING SHALL BE BY THE CITY OF MESA.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF MESA INSPECTION DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION. STAKING REQUESTS SHALL COMPLY WITH SECTION 105 OF THE UNIFORM STANDARD SPECIFICATIONS (TWO (2) WORKING DAYS NOTICE).
 - CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL DRY-UPS, RESETS AND REMOVAL BY OTHERS.
 - THE CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL 263-1100 FOR BLUE STAKES. FOR SALT RIVER POWER DISTRICT POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING, CALL 273-8888.
 - CONTRACTOR SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING AS PER CURRENT CITY OF MESA "TRAFFIC BARRICADING MANUAL".
 - BACKFILL MATERIAL ADJACENT TO THE CITY OF MESA GAS PIPE SHALL BE FREE FROM MATERIAL INJURIOUS TO THE PIPE OR COATING. WHEN INJURIOUS MATERIALS ARE ENCOUNTERED, PAD THE PIPE WITH AT LEAST 4-INCHES OF FINE (3/8-INCH AND SMALLER SCREENINGS) AGGREGATE MATERIAL. SCREENINGS LARGER THAN 3/8-INCH ARE CONSIDERED INJURIOUS MATERIAL TO THE COATING.
 - WHEN GAS MAIN AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT 834-2754 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO THE BACKFILLING OF THE TRENCH.
 - ALL NOTES IN DASHED BOXES INDICATE WORK TO BE DONE BY THE CITY OF MESA.
 - WATER METER BOXES IN CONFLICT WITH NEW CONSTRUCTION WILL BE RELOCATED TO PROPERTY LINE BY CITY FORCES.
 - THE CONTRACTOR AND CITY OF MESA UTILITY AND TRAFFIC CREWS SHALL COORDINATE WORK SCHEDULES SO AS TO PREVENT ANY CONFLICTING WORK CONDITIONS.
 - CONTRACTOR TO NOTIFY DOWD KNOX, STREET DEPARTMENT, AT 834-2160 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
 - CONTRACTOR TO COORDINATE ALL OR ANY SEWER SERVICES, DRIVEWAY LOCATIONS, AND REMOVAL OR RESETS OF PRIVATE PROPERTY ON ALL STREETS WITH OWNERS AND CITY INSPECTOR.
 - PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS) THE CONTRACTOR WILL GIVE THE OWNER (IF IN RESIDENCE) SUFFICIENT TIME (MINIMUM 24-HOURS) TO REMOVE ITEMS HE WISHES TO. THE CONTRACTOR WILL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
 - WORK WITHIN THE MARICOPA COUNTY RIGHT-OF-WAY WILL REQUIRE A COUNTY HIGHWAY DEPARTMENT PERMIT. THE CONTRACTOR SHALL OBTAIN SUCH PERMIT AND PAY ANY RELATED COSTS PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO POTHOLE EXISTING UTILITIES AHEAD OF HIS CONSTRUCTION, TO ALLOW FOR ANY NECESSARY ADJUSTMENT IN GRADELINE.
 - WATER LINE TEST WILL BE COMPLETED SO THAT NO OLD LINES WILL BE INCLUDED IN THAT TEST. A NIGHT TIE-IN (BETWEEN 12:00 AND 6:00 A.M.) MAY BE NECESSARY IF REQUIRED BY CITY INSPECTOR.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTORS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER LINE MATERIAL. THE COST IS TO BE INCLUDED IN HIS PER FOOT BID.
 - ALL VALVES TO BE INSTALLED WITH VALVE BOX AND COVERS PER DETAIL 391-1 (TYPE "C") OR DETAIL 391-2, IF 2" OPERATING NUT IS OVER 5' BELOW EXISTING CENTER LINE GRADE.
 - THE CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS AS INDICATED ON THE CITY OF MESA DETAIL M-58 WHEN TRENCHING FOR THE WATER LINE WHERE A GAS MAIN IS TO BE INSTALLED IN THE SAME TRENCH.
 - CONTRACTOR TO INSTALL 4" SEWER SERVICE AS PER DETAIL 440 AT THE LOCATIONS SHOWN AND MARKED ON THE PLANS.
 - ALTERNATE SEWER PIPE MAY BE P.V.C. OR TRUSS PIPE. SEE SECTIONS 744 AND 745 OF U.S.S. AND MANUFACTURERS RECOMMENDATION FOR THESE MATERIALS.
 - WHEN A SLEWER CROSSES BELOW A WATER LINE WITH LESS THAN TWO (2) FEET OF SEPARATION OR WHEN A SEWER CROSSES OVER A WATER LINE, ENCASEMENT IS REQUIRED PER DETAIL 404.
 - ALL SEWER MANHOLES SHALL BE CONSTRUCTED PER DETAIL 420. MANHOLES OVER TEN (10) FEET DEEP SHALL BE 5 FOOT INSIDE DIAMETER.
 - ALL SEWER CLEANOUTS SHALL BE CONSTRUCTED PER DETAIL 441.
 - THE FOLLOWING DETAILS, IN ADDITION TO THOSE NOTED SPECIFICALLY ON THE PLANS, APPLY TO THIS JOB: DETAIL 427 (PLUG).



EXIST. M.H.
RIM = 17.00
INV. N. = 06.99
INV. E. = 07.10
INV. S. = 06.99

1-12"x8" TAPPING SLEEVE
& VALVE W/B&C. TAP
EXISTING 12" WATER LINE
JACK & BORE IN PUBLIC
RIGHT-OF-WAY - 35 L.F.

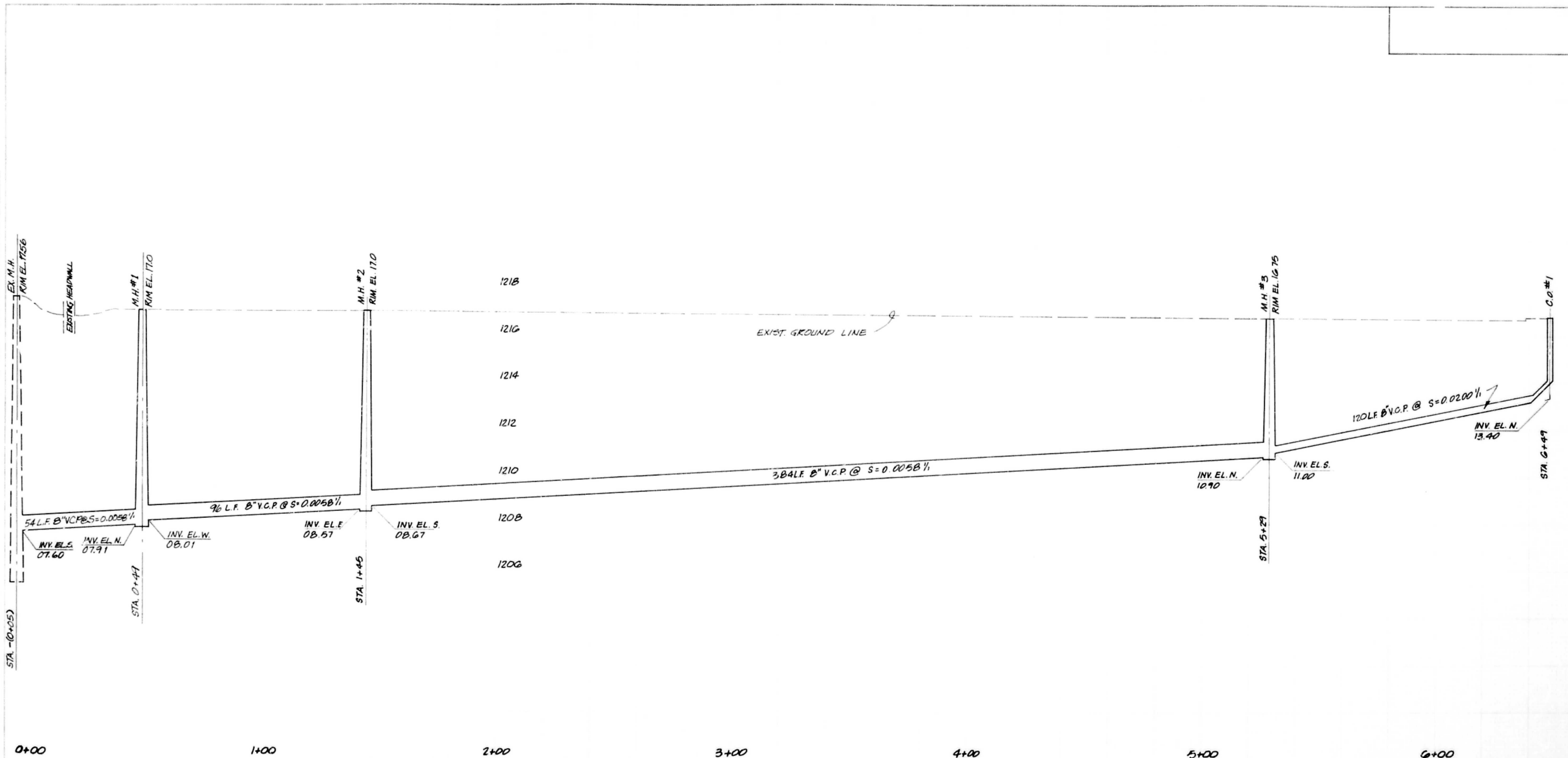
BORE UNDER EXIST. SIDEWALK,
CURB, GUTTER & PAVEMENT.
REPAIR AND REPLACE P.V.M.T.
AS REQUIRED. INSTALL 1"
STEEL SERVICE TAPPING TEE
AND 1" TRANSITION FITTING.



TIBSHRAENY SHOW BIZ PIZZA INC.		WATER & SEWER PLAN	
Date 17 OCT 05 Designed S.W.D. Drawn S.R.M. Checked J.S.P. Revised S.W.D.	Franzoy, Corey & Associates Consulting Engineers 1030 E. Guadalupe Road Tempe, Arizona 85283 602-838-0828	C 2 102104	

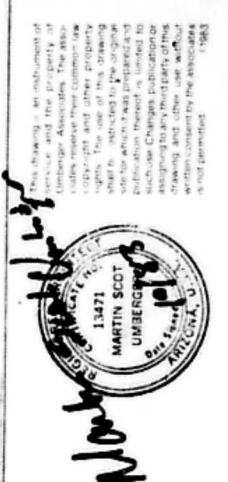
TIBSHRAENY
 SHOW BIZ PIZZA INC.
 1030 E. Guadalupe Road
 Tempe, Arizona 85283
 602-838-0626

STA. - (0+05)
 STA. 0+41
 STA. 1+45
 STA. 5+29
 STA. 6+49



TIBSHRAENY SHOW BIZ PIZZA INC.		SEWER PROFILE	
Date <u>16 SEPT 03</u> Designed <u>J.P.</u> Drawn <u>S.R.M.</u> Checked <u>J.P.</u> Revised <u>SWD</u>		Franzoy, Corey & Associates Consulting Engineers 1030 E. Guadalupe Road Tempe, Arizona 85283 602-838-0626	C3

THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF 'SHOWBIZ' PIZZA PLACE, INC., AND S-M PIZZA INCORPORATED.



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 100
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-SCULPTURE

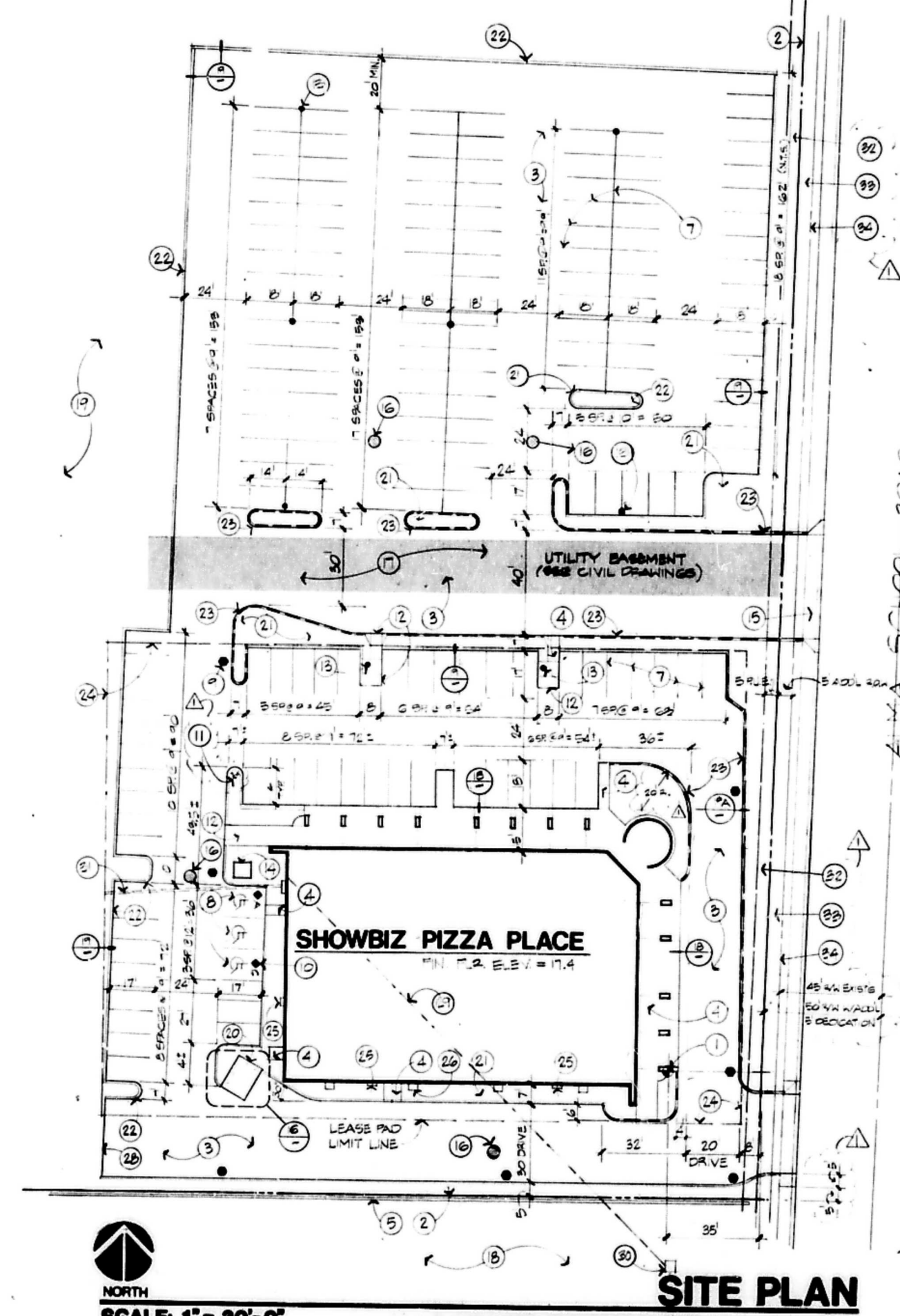
DATE: 01.15.92
JOB NO: 9201
PROJECT MGR: BSC
DRAWINGS BY: AC
REVIEWED BY:

REVISION DATES

NOTES

1. BUILDING LAYOUT POINT
2. PROPERTY LINE (NEW LOCATION)
3. 2" ASPHALTIC CONCRETE ON 4" MINIMUM A.B.C. (TYPICAL U.N.O.)
4. 4" CONCRETE SIDEWALK ON 4" MINIMUM A.B.C.
5. EXISTING 6" HIGH C.M.U. FENCE TO REMAIN
6. EXISTING CURB, GUTTER AND SIDEWALK
7. 4" WIDE PAINTED PARKING STRIPES (WHITE)
8. 12" WIDE HANDICAP PARKING STALL WITH PAINTED SYMBOL
9. 5' LANE SIGN - SEE DET. 11 (1/4" X 1/2")
10. HANDICAP SIGN - SEE DET. 12
11. SIAMSE FIRE DEPARTMENT CONNECTION TO SPRINKLERS--SEE PLUMBING DRAWINGS (REMOTE CONN.)
12. HAMP CONCRETE TO MEET A/C FOR HANDICAP ACCESS. 1:20 SLOPE MAX.
13. LOCATION OF PARKING LOT LIGHTING STANDARD
14. TRANSFORMER PAD LOCATION AND SIZE AS PER SRP.
15. NP DRIVEWAY AND APRON (SEE CIVIL DRAWINGS)
16. DRYWELL LOCATIONS (SEE CIVIL DRAWINGS)
17. UTILITIES EASEMENT IN DRIVE TO BE DEDICATED TO CITY (SEE CIVIL DRAWINGS)
18. EXISTING APARTMENT COMPLEX
19. FUTURE NEIGHBORHOOD RETAIL CENTER
20. REFUSE AREA W/ LANDSCAPE SCREEN
21. PLANTING AREA
22. 6" HIGH EXTRUDED CONCRETE CURB
23. 6" HIGH VERTICAL CONCRETE CURB
24. LEASE PAD LIMIT LINE
25. BUILDING MTD. AREA LIGHT (SHARP CUTOFF) - SEE ELEVATIONS
26. SPLASH BLOCKS @ DOWNSPOUTS (4)
27. 2" X 8" REDWOOD HEADER WITH 2" X 2" STAKES @ 6'-0" O.C. AT EDGE OF ASPHALT
28. 2" X 8" REDWOOD HEADER WITH 2" X 2" STAKES @ 6'-0" O.C. AT EDGE OF ASPHALT
29. 1" X 4" X 8" REDWOOD POSTS @ 6'-0" O.C. WITH 1" X 4" X 8" REDWOOD CROSS BRACES @ 6'-0" O.C. (SEE DET. 19)
30. 1" X 4" X 8" REDWOOD POSTS @ 6'-0" O.C. WITH 1" X 4" X 8" REDWOOD CROSS BRACES @ 6'-0" O.C. (SEE DET. 19)
31. LIGHT AS SHOWN - 2" X 2" O.C. COUL - UNDER PAVEMENT FOR PLANT LIGHTING
32. NEW 5' PUBLIC UTILITY EASEMENT
33. ADDITIONAL 5' ROW DEDICATION
34. OLD PROPERTY LINE LOCATION

AN APPROVED ADDRESS SHALL BE LOCATED ON BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM ALMA SCHOOL ROAD.



SITE PLAN



11 FIRE LANE SIGN DETAIL

NOTE:
2" LETTERS ARE 5/8" WIDE.
1 1/2" LETTERS ARE 1/2" WIDE.
3/4" LETTERS ARE 1/8" WIDE.
ALL LETTERS ARE RED WITH A WHITE BACKGROUND.
THE SIGNS ARE TO BE MOUNTED ON A FIRM SUPPORT SO THE BOTTOM OF THE SIGN IS 7' ABOVE GRADE AND NO MORE THAN 100' APART. THESE SIGNS ARE NOT SUPPLIED BY THE CITY.

NOTE: SIGN LOCATIONS ARE INDICATED ON THE SITE PLAN BY THIS SYMBOL:



12 HANDICAP SIGN DETAIL

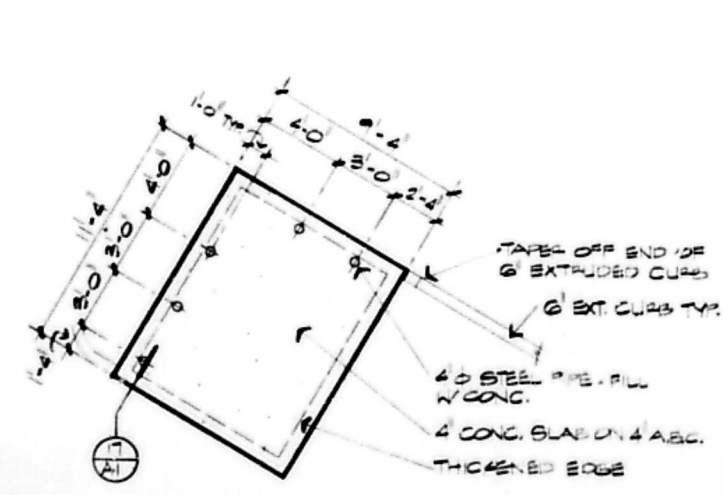
- NOTES:
1. The bottom of the sign should be no less than 30 inches and no more than 54 inches above finish grade.
 2. Signs should be properly centered within the parking space.
 3. The sign face should be located no farther than 6 feet from the front of each parking space.

SIGN LOCATIONS ARE INDICATED ON THE SITE PLAN BY THIS SYMBOL:

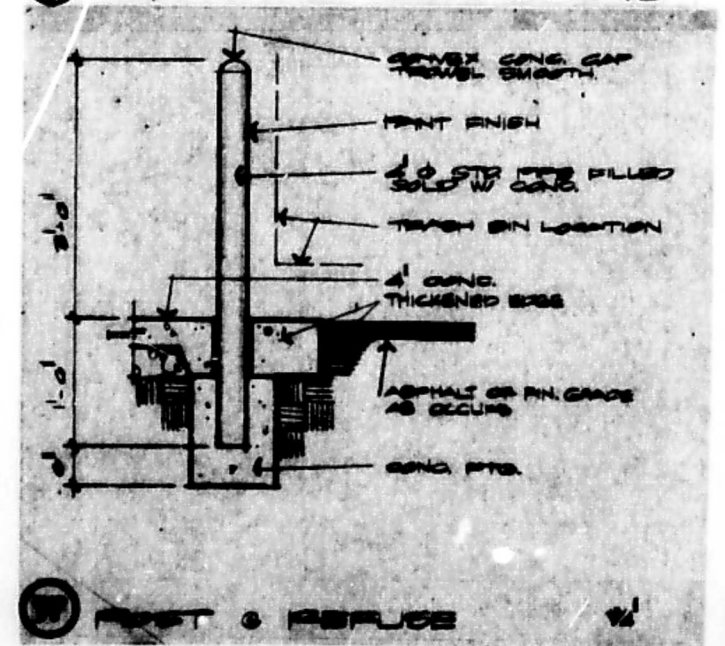
KEY TO ARROW TYPES:

- A
- B
- C

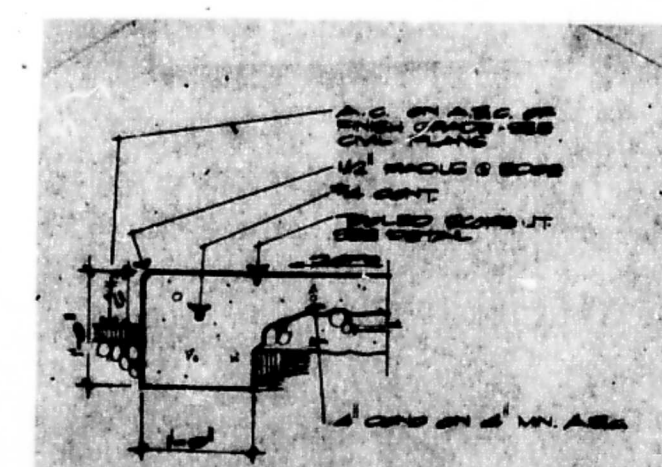
SIGN SHALL MEET REQUIREMENTS OF CITY OF MESA ORDINANCE No. 1708



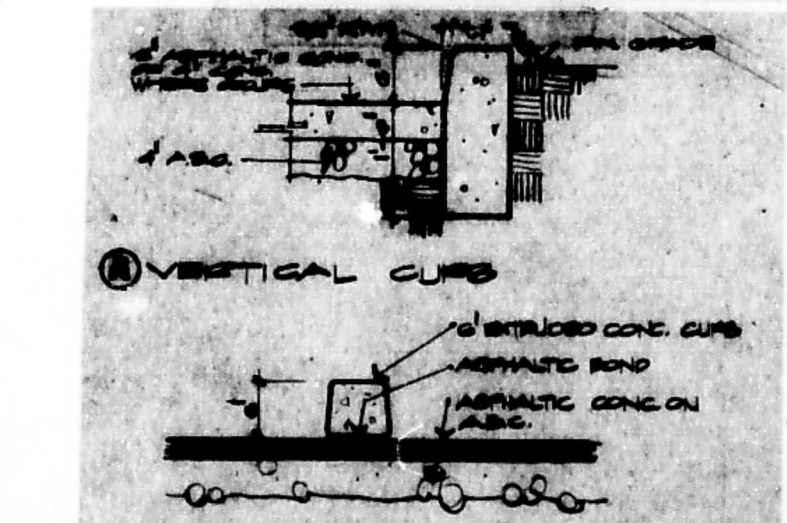
16 PLAN @ REFUSE ENCLOSURE



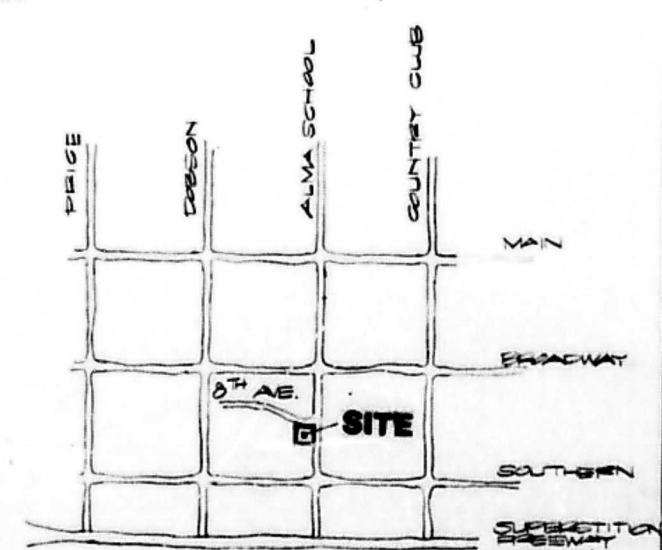
17 REFUSE ENCLOSURE



18 TURN DOWN SLAB @ ARCADE

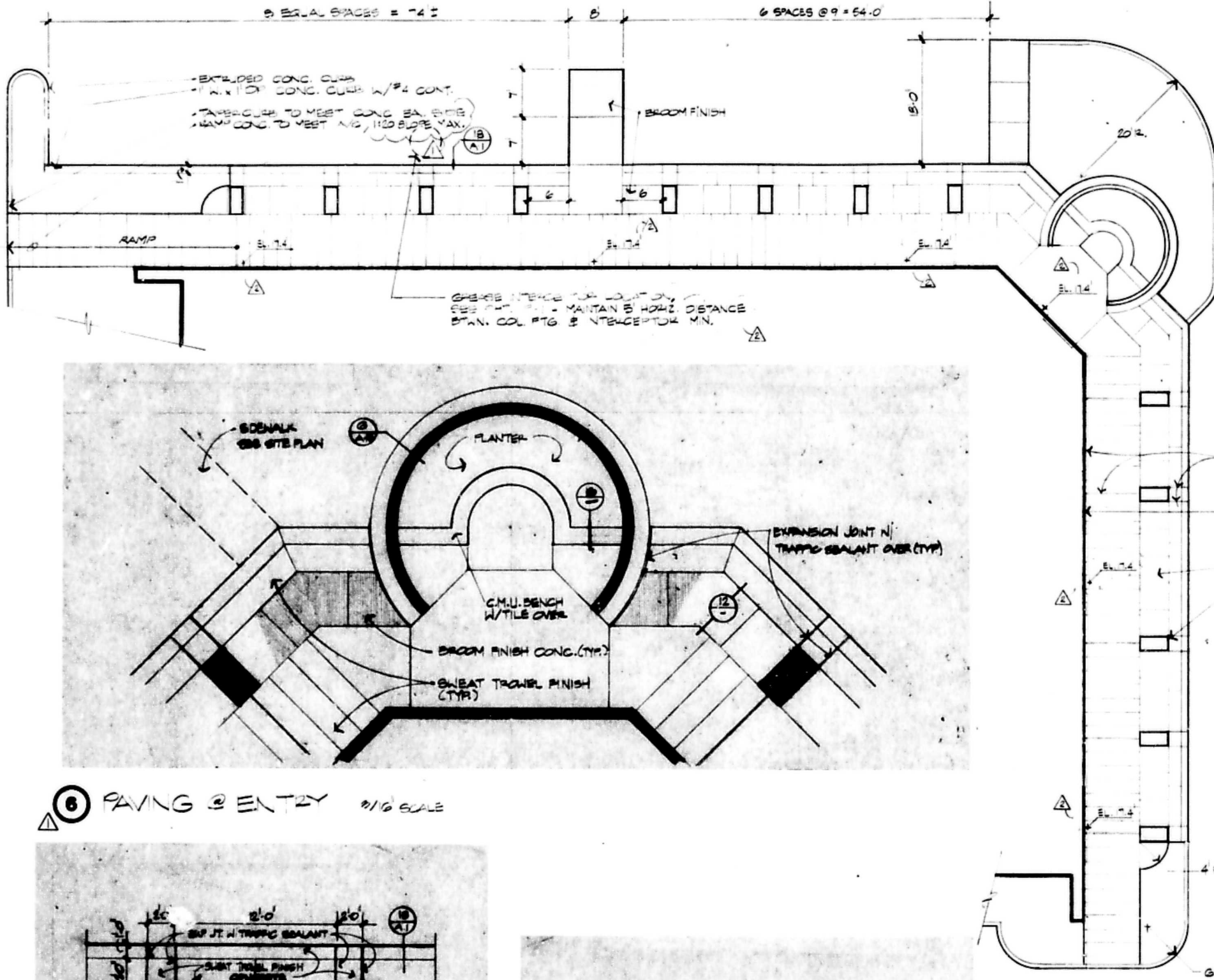


19 EXTRUDED CURB



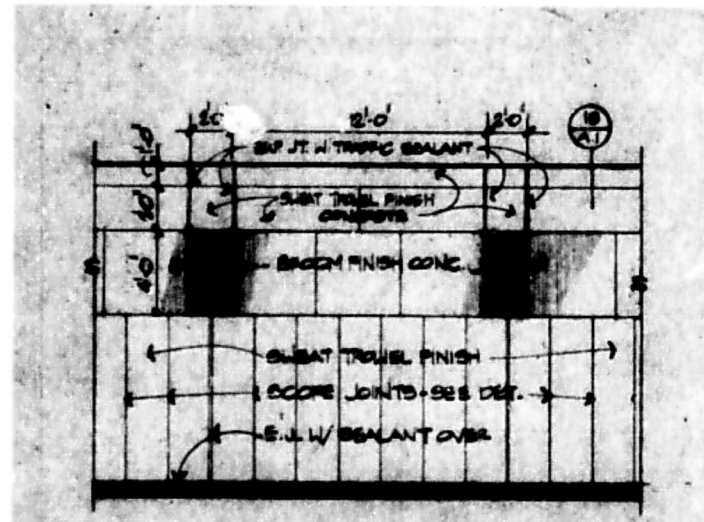
VICINITY MAP



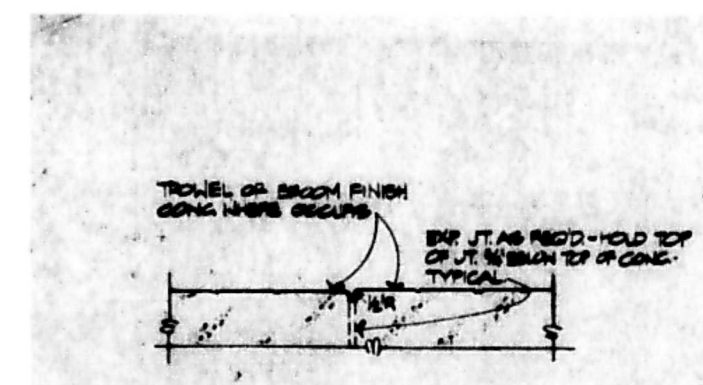


HARDSCAPE PLAN

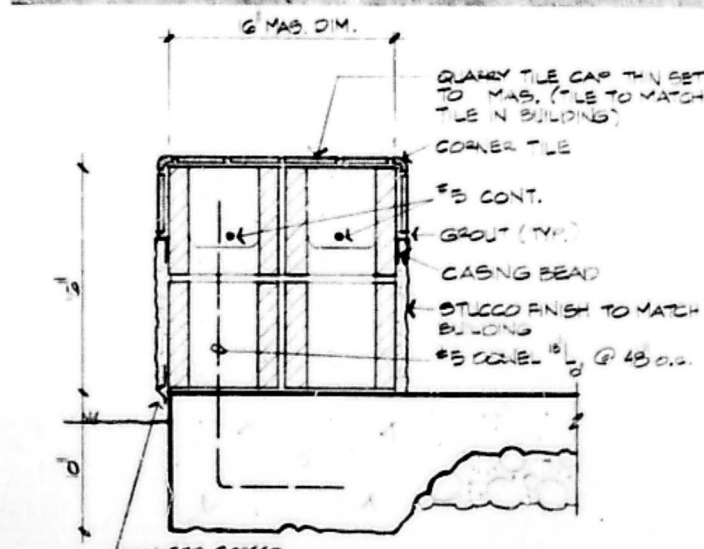
⑥ PAVING @ ENTRY 1/8" SCALE



⑪ TYPICAL COLONNADE PAVING 1/8" SCALE



⑫ CONCRETE SCORE JOINT NO SCALE



⑩ BENCH DETAIL

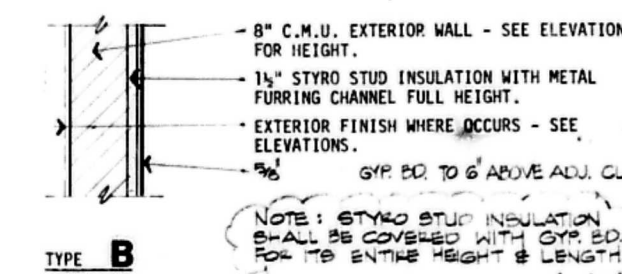
⑪

⑩

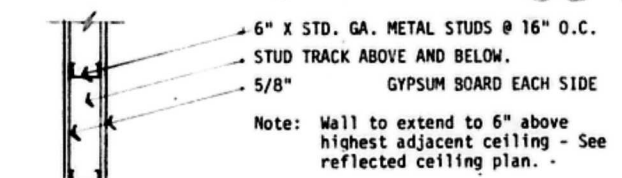
WALL & PARTITION SCHEDULE

- GENERAL NOTES:
- ALL PARTITION TYPES ARE SHOWN FOR BASIC CONSTRUCTION OF PARTITIONS; SEE FINISH SCHEDULE, ELEVATIONS, DETAILS, ETC., FOR FINISHES, APPLIED PANELS, BLOCKING, ETC. PARTITION TYPES SHOWN IN PLAN VIEW.
 - PARTITION TYPES ARE INDICATED ON THE FLOOR PLANS. THIS INDICATION SIDE ON FLOOR PLANS CORRESPONDS TO INDICATION SIDE ON SCHEDULE.
 - WATER RESISTANT GYPSUM BOARD SHALL BE USED AS THE SUBSTRATE FOR ALL PARTITIONS TO RECEIVE FIBERGLASS REINFORCED PANELS (F.R.P.) OR TILE (INCLUDING QUARRY TILE BASE).
 - DIMENSIONS ON PLAN ARE TO CENTER OF WALL UNLESS NOTED OTHERWISE. OTHER NOTATIONS MAY INCLUDE:
F.O.M. - FACE OF MASONRY
F.O.S. - FACE OF STUD
F.G.B. - FACE OF GYPSUM BOARD
 - SEE PARTITION BRACING AND HEAD DETAILS FOR ADDITIONAL INFORMATION.
 - F.R.P. PANELS SHALL BE MARBLE CLASS A/1 5/8" PANELS W/ FLAME SPREAD RATING OF 10, & SMOKE DEVELOPED RATING OF 20.

TYPE A



TYPE B



TYPE C

SAME AS TYPE 'B' BUT PARTITION CONTINUES FULL HEIGHT TO UNDERSIDE OF STRUCTURE - SEE PARTITION HEAD DETAIL. STUDS IN FULL HEIGHT. PARTITIONS SHALL BE 20 GAUGE.

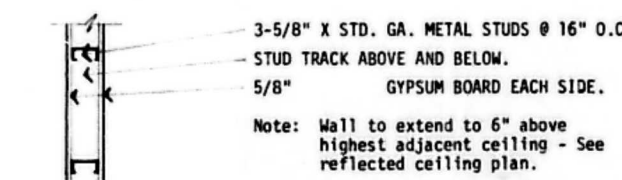
TYPE D

SAME AS TYPE 'C', EXCEPT ADD 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT.

TYPE E

SAME AS TYPE 'C', EXCEPT ADD R-19 BATT INSULATION FULL HEIGHT.

TYPE F



TYPE G

SAME AS 'F', BUT WITH 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT OF PARTITION.

TYPE H

SAME AS 'F', EXCEPT GYPSUM BOARD ON EXPOSED SIDE ONLY.

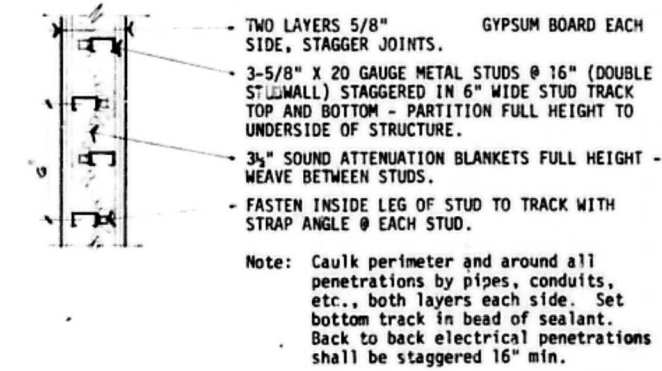
TYPE J

SAME AS 'F', BUT PARTITION CONTINUES FULL HEIGHT TO UNDERSIDE OF STRUCTURE - SEE PARTITION HEAD DETAIL. STUDS IN FULL HEIGHT PARTITIONS SHALL BE 20 GAUGE.

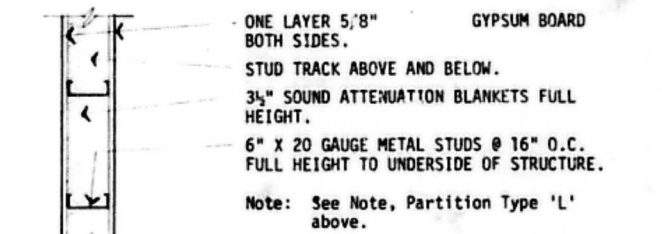
TYPE K

SAME AS 'J', BUT ADD 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT.

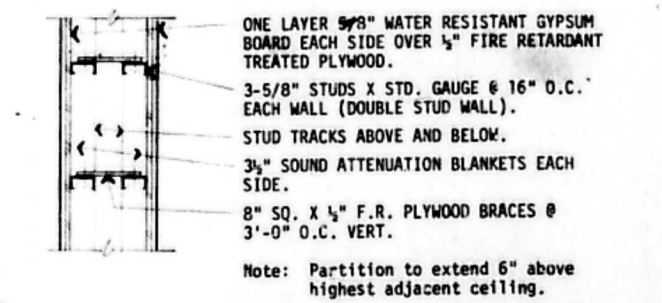
TYPE L



TYPE M



TYPE P



DATE: 01/08/08

JOB NO: 2924

PROJECT MGR: EAC

DRAWINGS BY: EAC

REVIEWED BY: EAC

REVISION DATES



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 100C
PHOENIX, ARIZONA

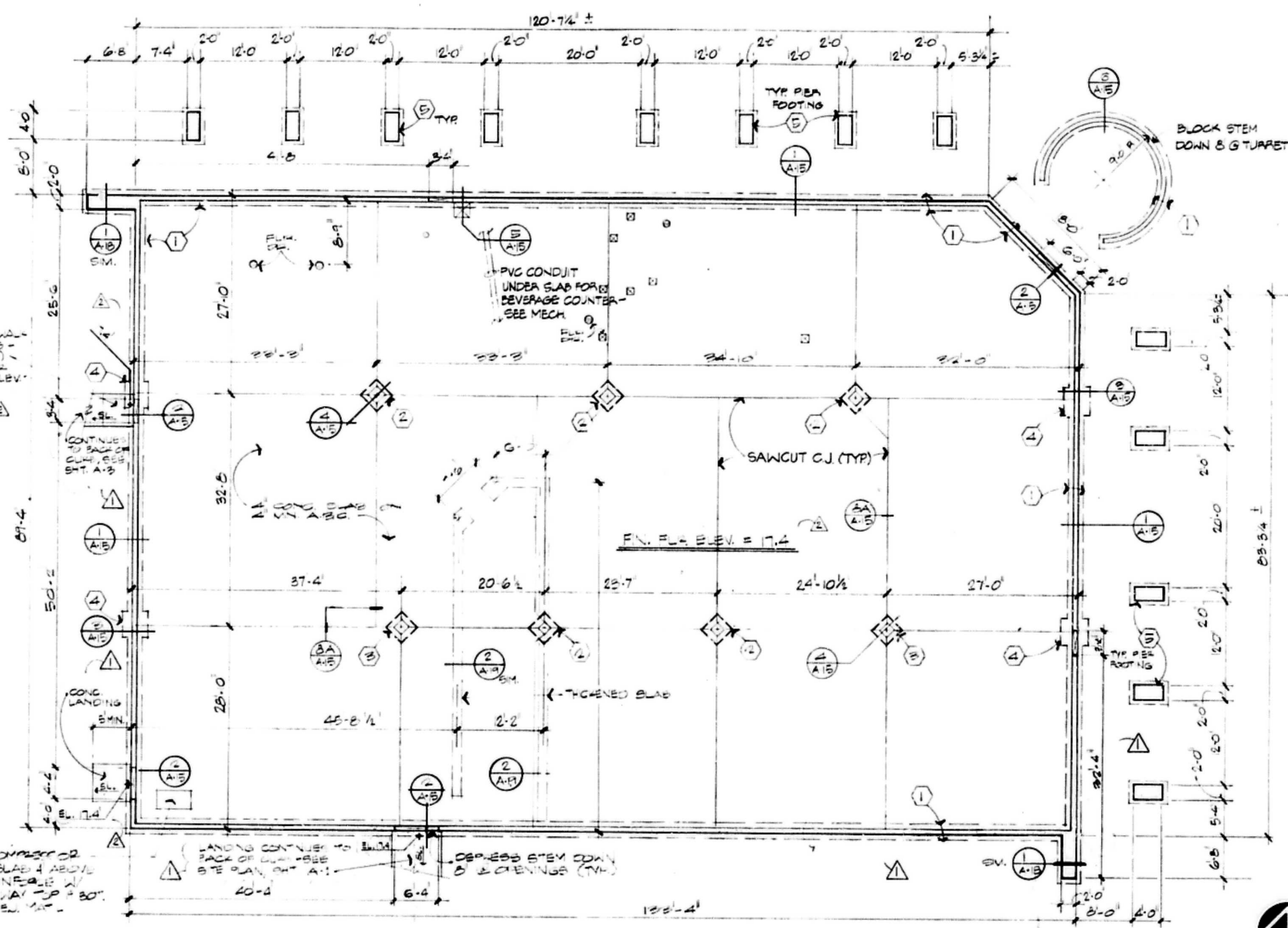
LANDSCAPE ARCHITECTURE - 85 EAST CAMELBACK ROAD SUITE 205 PHOENIX, ARIZONA 85014 (602) 364-2617

DATE: 10/10/98
JOB NO: 9804
PROJECT MGR: SMC
DRAWN BY: CSE/MD
REVIEWED BY:
ASSOCIATES
REVISION DATES

A-3

FOOTING SCHEDULE					
MARK	FTG. SIZE (WxHxL)	REINFORCING	COL. SIZE	BASE PLATE	DEPTH BELOW GRADE
1	10" W x 8" THK	1-#4 CONT.	—	—	24" SEE NOTE 2SL
2	5.9" EQ. x 10" THK	6-#5 90° WY	4.0" DIA. TYPE 2SL	12" x 12" x 12" W/ 1/2" x 1/2" x 1/2" A.B.	—
3	5.9" EQ. x 10" THK	6-#5 90° WY	4.0" DIA. TYPE 2SL	12" x 12" x 12" W/ 1/2" x 1/2" x 1/2" A.B.	—
4	4.0" EQ. x 10" THK	4-#5 90° WY	—	—	—
5	2.6" x 4.3" x 10" THK	3-#5 90° WY	—	—	—

NOTE: ALLOWABLE BEARING ON UNDISTURBED NATURAL SUBSOIL IS 2.4 KIP/FT² @ 1000 PSF. SEE SOIL REPORT BY THOMAS-HARTIG & ASSOCIATES.



FLOOR DRAIN KEY
1. FLOOR DRAIN W/ SURFACE GATE.
2. FLOOR DRAIN W/ SURFACE GATE.
3. RECESSED FLOOR DRAIN FOR EQUIP. & CONCEALED DRAIN - LOCATE & FACT ELEV. OF EQUIP. BEING SERVED. DO NOT EXCEED FLOOR FINISH ELEV.
* SEE PLUMBING SITS FOR ADD. INFO

NOTE: LANDINGS FOR EXTERIOR DOORS ON THE NORTH, NORTHEAST, & EAST SIDES OF BUILDING WILL BE PROVIDED BY CONTINUOUS PEDESTALIAN WALKWAY. SEE PARAPET PLAN, SHEET A-2. WALKWAY FINISH ELEV. SHALL EQUAL FIN. FLOOR ELEV. OF 7.4' IN ALL EXTERIOR DOOR OPENINGS (3). SEE SHEET A-2 FOR EXIST. ELEV. & WALKWAY.

GENERAL STRUCTURAL NOTES

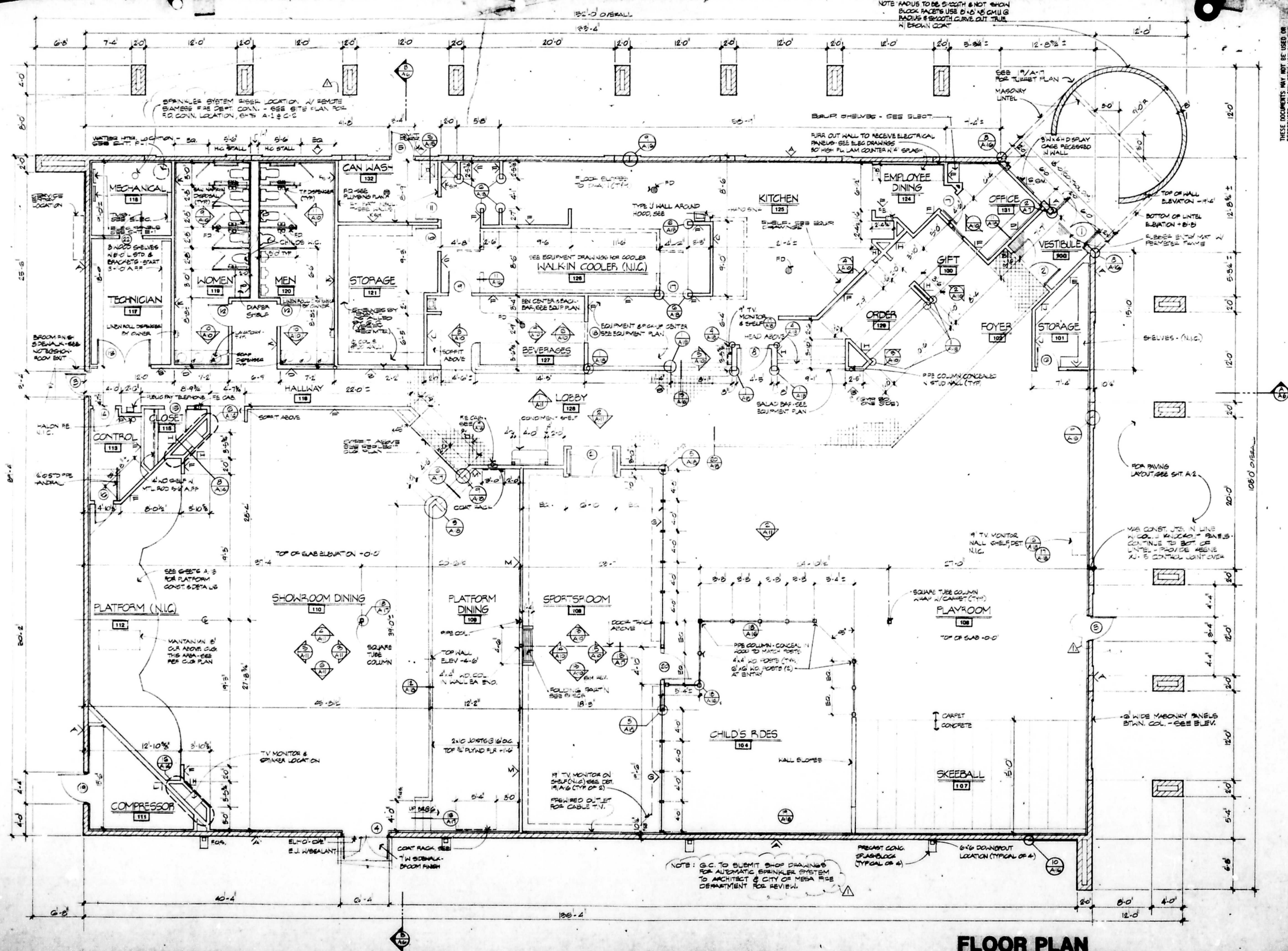
- ALL DESIGN AND CONSTRUCTION WORK FOR THIS PROJECT SHALL CONFORM TO THE UNIFORM BUILDING CODE (UBC).
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN OR IMPLIED BY THESE DRAWINGS.
- DESIGN LOADS:
 - ROOF AREA:
 - DEAD LOAD: 20 PSF
 - MECHANICAL EQUIPMENT: 15 PSF
 - WIND (ON VERTICAL PROJECTION): 15 PSF
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS, AND FOR COORDINATING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THOSE SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. IF ERRORS OR DISCREPANCIES IN THE DIMENSIONS OCCUR, IT SHALL BE THE SUPERINTENDENT'S RESPONSIBILITY TO BRING THE DISCREPANCY TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EMBEDDED ITEMS NOT SHOWN HEREIN AND TO VERIFY SIZE AND LOCATION OF ALL OPENINGS.
 - REFERENCE ELEVATIONS:
 - ELEVATION OF 0'-0" EQUALS FINISH FLOOR ELEVATION (TOP SLAB) ON ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - FOUNDATIONS:
 - SOILS REPORT PREPARED BY THOMAS-HARTIG & ASSOCIATES, INC., JOB NO. 83-695 IS AVAILABLE FOR INSPECTION AT THE OFFICES OF THE GENERAL CONTRACTOR. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE REPORT PRIOR TO BIDDING.
 - SPREAD FOOTINGS ARE DESIGNED TO BEAR ON COMPACTED STRUCTURAL FILL OR ON-SITE SOIL CAPABLE OF SUSTAINING 2000 PSF BEARING PRESSURE. ALL FOUNDATION BEARING MATERIAL SHALL BE INSPECTED AND APPROVED BY A SOILS ENGINEER PRIOR TO PLACING CONCRETE. IF SUITABLE BEARING CAPACITY IS NOT ENCOUNTERED AT THE ELEVATION INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
 - REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - CONCRETE:
 - ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-77).
 - MATERIALS SHALL COMPLY WITH:
 - CEMENT-ASTM C150 TYPE I.
 - AGGREGATE-ASTM C33 REFERENCE SPECIFICATIONS FOR SIZE REQUIREMENTS.
 - WATER-REDUCER.
 - CONCRETE SHALL DEVELOP THE FOLLOWING 28 DAY MINIMUM COMPRESSIVE STRENGTHS:
 - FOUNDATION AND INTERIOR SLAB ON GRADE: 2500 PSI
 - EXTERIOR SLABS AND CURBS: 3000 PSI

- CONTRACTOR SHALL SUBMIT THREE (3) COPIES OF THE MIX DESIGN FOR REVIEW. CONCRETE MIXES SHALL BE DESIGNED AND TESTED BY A TESTING LABORATORY. THE MIX DESIGN SHALL ESTABLISH THE QUANTITY OF ALL INGREDIENTS, INCLUDING WATER TO PRODUCE CONCRETE OF THE REQUIRED STRENGTH AND SLUMP.
- CAST CLOSURE POUR AROUND COLUMNS AFTER COLUMN DEAD LOAD IS APPLIED.
- MAXIMUM SLUMP 4".
- REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- REINFORCING STEEL:
 - ASTM A615 (Fy = 60,000 PSI) DEFORMED BARS FOR ALL BARS #6 AND LARGER. ASTM A615 (Fy = 40,000 PSI) DEFORMED BARS FOR ALL BARS #5 AND SMALLER. WELDED WIRE FABRIC PER ASTM A185, WIRE PER ASTM A82. LATEST AISC CODE AND DETAILING MANUAL APPLY. CLEAR CONCRETE COVERAGES AS FOLLOWS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO AIR: 3"
 - EXPOSED TO EARTH OR WEATHER: 2"
 - #6 AND LARGER: 2"
 - #5 AND SMALLER: 1 1/2"
 - COLUMNS (TO TIES): 1 1/2"
 - BEAMS (TO STIRRUPS): 1 1/2"
 - ALL OTHERS PER LATEST EDITION OF ACI 318.
 - ALL EXTERIOR WALLS SHALL HAVE #5 VERTICAL BARS AT WALL CORNERS, WALL INTERSECTIONS, JAMBS OR WALL OPENINGS, AND AT INTERVALS NOT TO EXCEED 4'-0" O.C. ALL REINFORCING BARS TO BE GROUTED SOLID IN BLOCK CELLS.
 - SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED FOR APPROVAL. ALL SHOP DRAWINGS SHALL GIVE COMPLETE BENDING DETAILS AND SCHEDULE LIST FOR REINFORCING BARS REQUIRED. DETAILS SHALL CONFORM TO ACI AND CRSI STANDARDS AND PRACTICES.
 - REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CAST-IN-PLACE CONCRETE-EXECUTION:
 - AT ALL OPENINGS IN CONCRETE WALLS AND SLABS, ADD 2-#5 BARS (OPENING DIMENSION PLUS 60 BAR DIAMETERS LONG) AT EACH OF FOUR SIDES AND ADD 2-#5 x 5'-0" DIAGONALLY AT EACH OF FOUR CORNERS. THE UNIT OF POUR FOR FOUNDATION WALLS AND FOOTINGS SHALL NOT EXCEED 90 LINEAR FEET IN ANY DIRECTION. CONSTRUCTION JOINTS SHALL BE DOWELED AND KEPT.
 - COORDINATE CONCRETE WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ARCHITECTURAL FINISHED CONCRETE, RECESSED AREAS, EMBEDDED ITEMS, AND SPECIAL CONTROL JOINT PATTERNS. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN CONCRETE.
 - REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- STRUCTURAL STEEL:
 - ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36,000 PSI).
 - ALL PLATE STEEL SHALL BE ASTM A501 (Fy = 36,000 PSI) OR ASTM A53, TYPES E OR S, GRADE B (Fy = 35,000 PSI).

- ALL TUBULAR STEEL SHALL BE ASTM A500 (Fy = 46,000 PSI).
- BOLTS SHALL BE ASTM A307 OR ASTM A325.
- ALL EXPANSION BOLTS TO BE RED HEAD PHILLIPS TYPE.
- ALL REFERENCE TO HEADED STUDS SHALL INDICATE AUTOMATIC WELDED HIGH STRENGTH HEADED STUDS (NELSON STUDS OR EQUIVALENT).
- LATEST AISC AND AWS CODES APPLY. ALL CONSTRUCTION PER LATEST AISC HANDBOOK.
- ALL WELDING BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES.
- ALL WELDING BY E70 SERIES LOW HYDROGEN RODS. ALL WELDING PER AMERICAN WELDING SOCIETY STANDARDS.
- MEMBER SPLICES (SHOP OR FIELD) WILL NOT BE PERMITTED UNLESS INDICATED ON THE DRAWINGS.
- ALL STRUCTURAL STEEL SHALL HAVE ONE SHOP COAT OF PRIMER PAINT. FIELD TOUCH UP ALL UNPAINTED AREAS AND WELD AREAS.
- REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- MASONRY:
 - CONCRETE BLOCK SHALL BE GRADE UT IN ACCORDANCE WITH ASTM C-90, Fm = 1350 PSI. PROVIDE "DUR-O-WAL" REINFORCEMENT AT 16" O.C. IN HORIZONTAL JOINTS.
 - MORTAR: TYPE 'S' - 1800 PSI AT 28 DAYS.
 - GROUT: 2000 PSI AT 28 DAYS.
 - ROD GROUT IN VERTICAL SPACES IMMEDIATELY AFTER POURING AND AGAIN ABOUT FIVE MINUTES LATER. PROVIDE CLEAN-OUTS IF GROUT LIFT EXCEEDS 4'-0" IN BLOCK WALLS. MAXIMUM GROUT LIFT SHALL BE 8'-0".
 - UNLESS NOTED OTHERWISE ON THE PLANS, PLACE CONSTRUCTION JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF WALL EXCEEDS 24'-0".
 - KEEP MASONRY WALLS SHORED DURING CONSTRUCTION UNTIL THE ROOF DECK AND FLOOR SLABS ARE IN PLACE TO PROVIDE LATERAL STABILITY.
 - VERTICAL REINFORCING:
 - IN CENTER OF GROUT AT CENTER OF WALL, CONTINUOUS FULL HEIGHTS OF WALL WITH 1 #5 AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS AND EACH SIDE OF CONSTRUCTION JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C. UNLESS OTHERWISE NOTED. TIE AT 8'-0" VERTICALLY, WITH SINGLE WIRE LOOP TIE BY A.A. WIRE PRODUCTS COMPANY. LAP SPLICES SHALL BE 30 BAR DIAMETERS FOR UP TO #6 BARS AND 40 BAR DIAMETERS FOR #7 BARS AND LARGER. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL WALL OR COLUMN REINFORCING.

FOUNDATION PLAN





THESE DOCUMENTS MAY NOT BE USED OR
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WRITTEN AUTHORITY OF 'SHOMBIZ' PIZZA
PLACE, INC. AND S.W. 1177A INTERNATIONAL



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.

S-S-M PIZZA INC. STORE NO. 2

2990 E. NORTHERN AVENUE • SUITE 101C

PHOENIX, ARIZONA

UNIBERGER ASSOCIATES

INVERCRAIG

REVISION DATES

① FEB 23 1964

DATE: 03/22

KMB NO. 9224

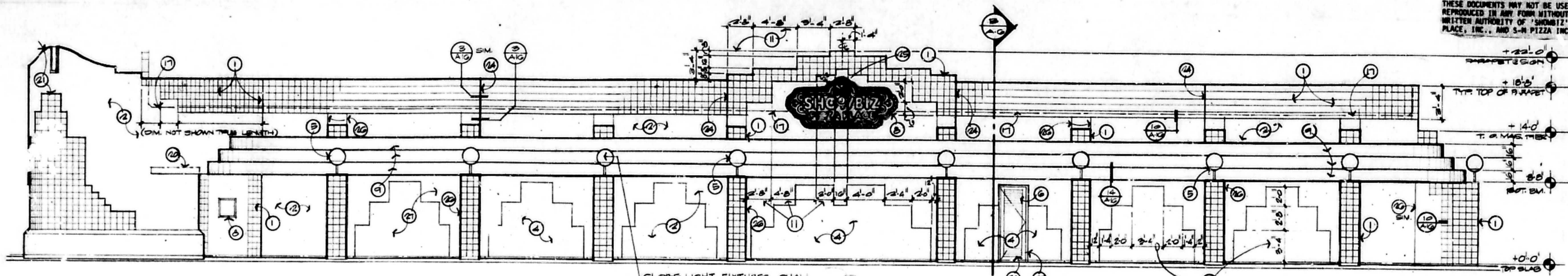
PROJECT MGR: SAC

DRAWINGS BY: 0000

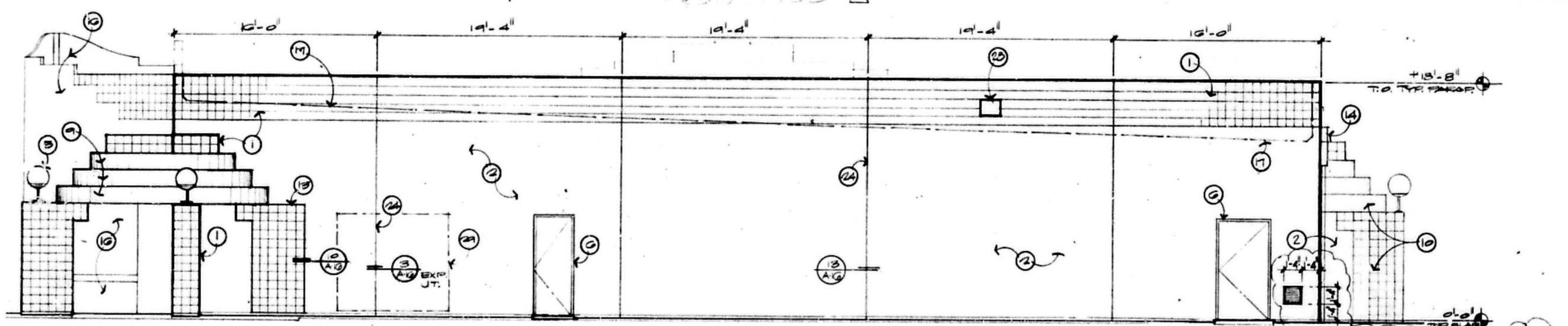
REVIEWED BY: _____

CAMERON ASSOCIATES
LAND PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE • 815 EAST CAMELBACK ROAD SUITE 905 PHOENIX, ARIZONA 85014 • (602) 361-9615

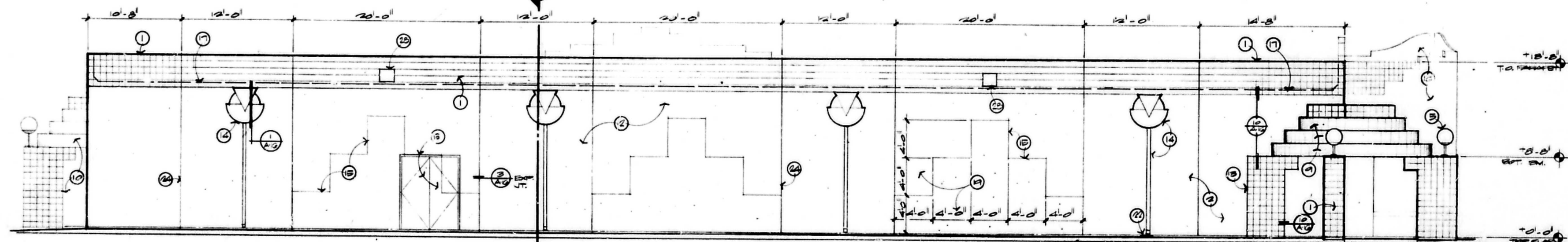
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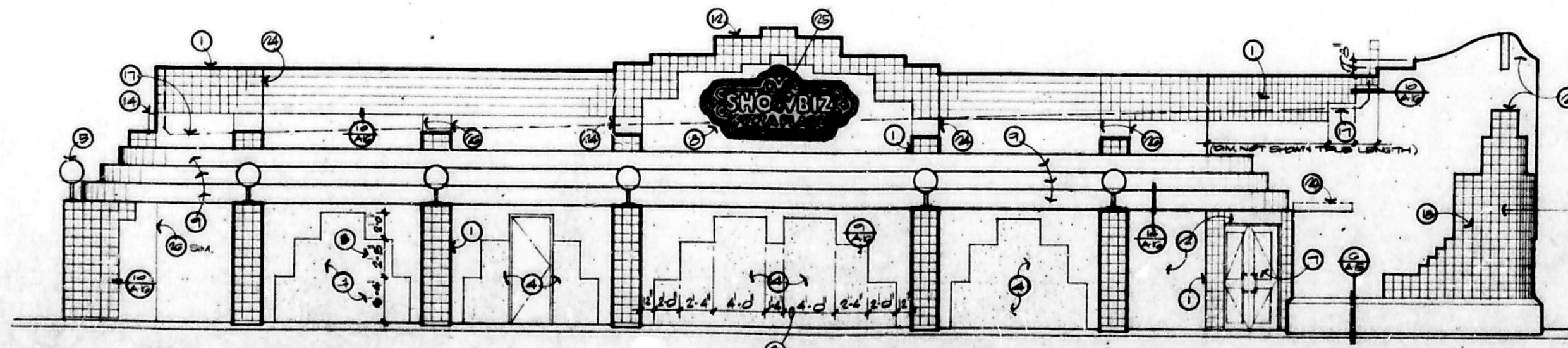
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

NOTES

1. EXPOSED C.M.U. WITH CENTER SCORE JOINT (SANDBLASTED).
2. 'SAND' STUCCO FINISH ON STD. C.M.U. (TYPICAL).
3. HORIZONTAL AND VERTICAL DIMENSION OF TYPICAL RECESS.
4. PAINT RECESSED PANEL PASTEL ACCENT COLOR.
5. 18" DIAMETER INCAND. 'GLOBE' FIXTURE ON WHITE POLE BASE. (SEE SPECS).
6. H.M. DOOR IN H.M. FRAME.
7. ALUMINUM/GLASS DOORS IN ALUMINUM FRAME.
8. 'SHOWBIZ' SIGN BY OTHERS.
9. 16" DEEP DECORATIVE STEEL BAND--SEE DETAILS.
10. M.S. PIER AND STEEL BANDS BEYOND.
11. DIMENSIONS SHOWN ARE TYPICAL FOR EACH SIGN PARAPET.
12. SEE NORTH ELEVATION FOR PARAPET DIMENSIONS.
13. SCORED, SANDBLASTED C.M.U. FLUSH WITH STUCCO TO MIMIC M.S. PIER SHAPE.
14. DECORATIVE LEADER AND DOWNSPOUT (TYP. OF 4).

15. EDGE OF PAINTED ACCENT AREA (TYP.).
16. TURRET BEYOND.
17. ROOF PROFILE BEYOND SHOWN DASHED.
18. REFLECTIVE GLASS BLOCK AT TURRET.
19. TYPICAL DIMENSIONS OF PAINTED ACCENTS.
20. TOP OF CURVED WALL BEYOND AT 9'-4" SHOWN DASHED.
21. FOR DIMENSIONS OF GLASS BLOCK AND CURVED PARAPET, SEE ELEVATION DRAWING A-7.
22. PRECAST CONCRETE SPLASHBLOCK (TYP. OF 4).
23. EXTERIOR FACE OF FRAME FLUSH WITH STUCCO FINISH.
24. ROOFLINE EXPANSION JOINT WITH COMPRESSIBLE FILLER AND SEALANT WITH BACKUP ROD.
25. PROVIDE J-BON IN M.S. FOR BUILDING SIGNAGE.
26. REIN. X-J-TS STUCCO CONTROL JOINT EACH SIDE OF COLUMN FROM SLAB TO BOTTOM OF SCORED BLOCK.
27. ROOFLINE JOINT-OUT PANEL TO 4'-4" A.F.F.--SEE FLOOR PLAN.
28. BLOCK WITH AREA LIGHTING (SHARP CUT OFF).
29. SEE LOCATION.

ELEVATIONS

DATE: 10-18-83
JOB NO. 8224
PROJECT MGR: BMD
DRAWINGS BY: 32/CS
REVIEWED BY:

REVISION DATES

UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

PHOENIX, ARIZONA 85014 (602) 961-2617

NOTES

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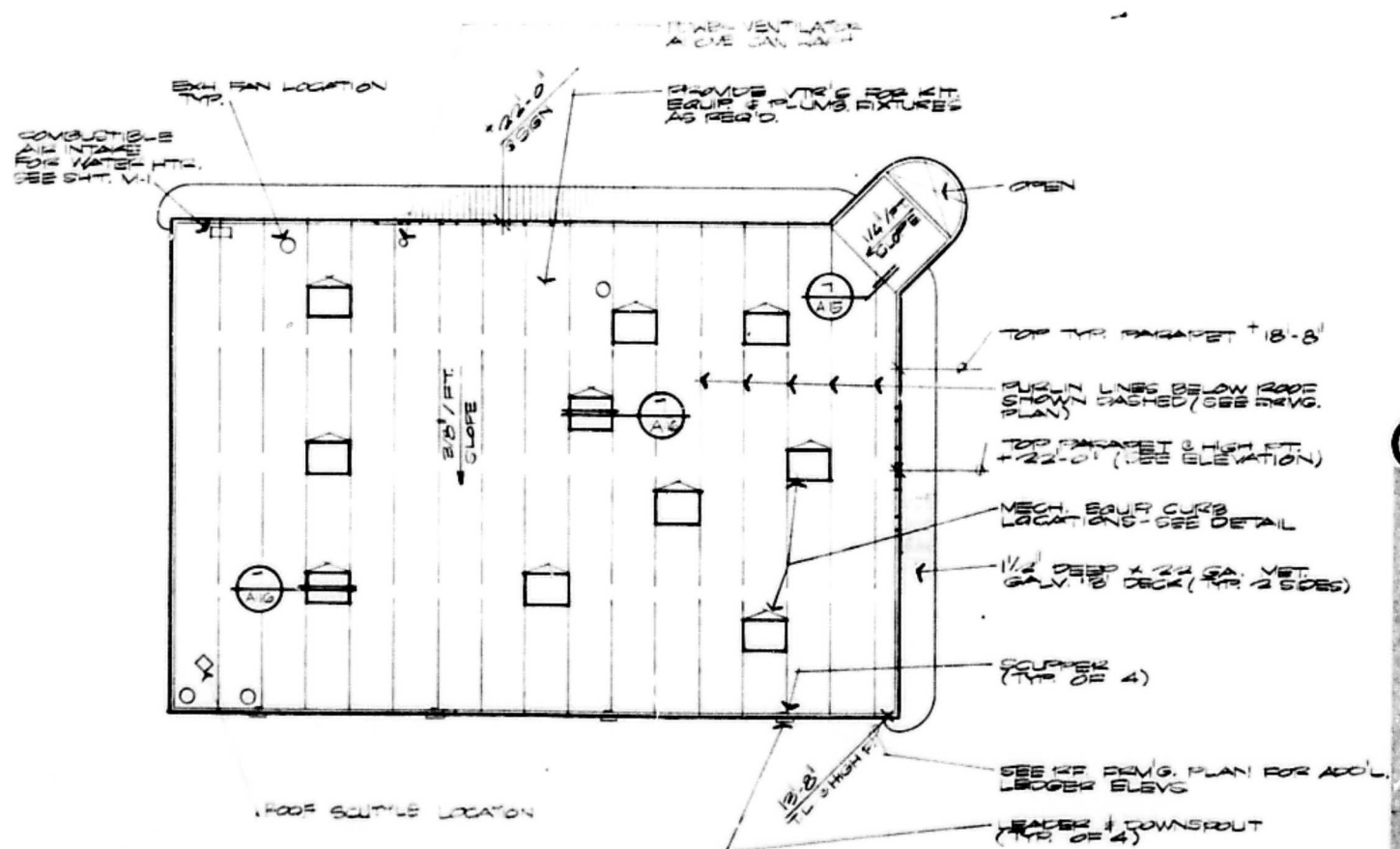
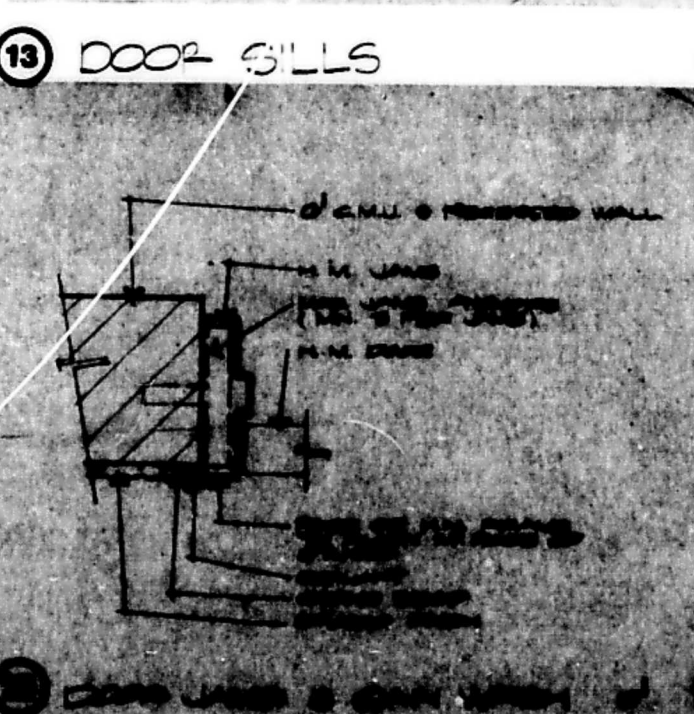
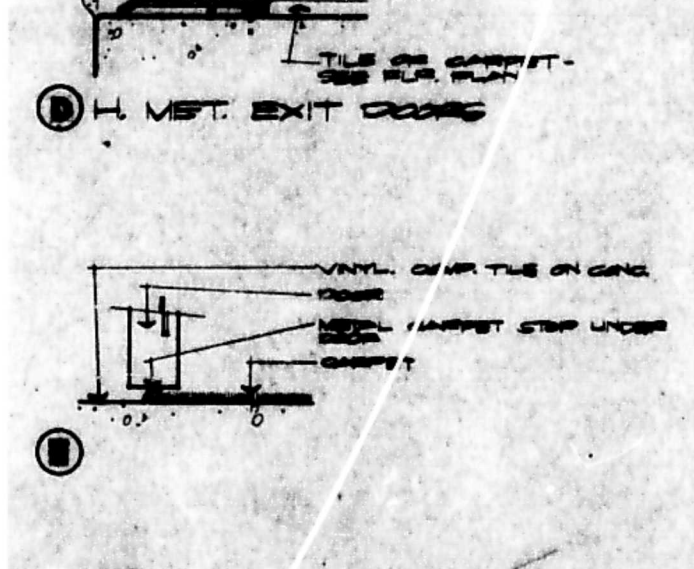
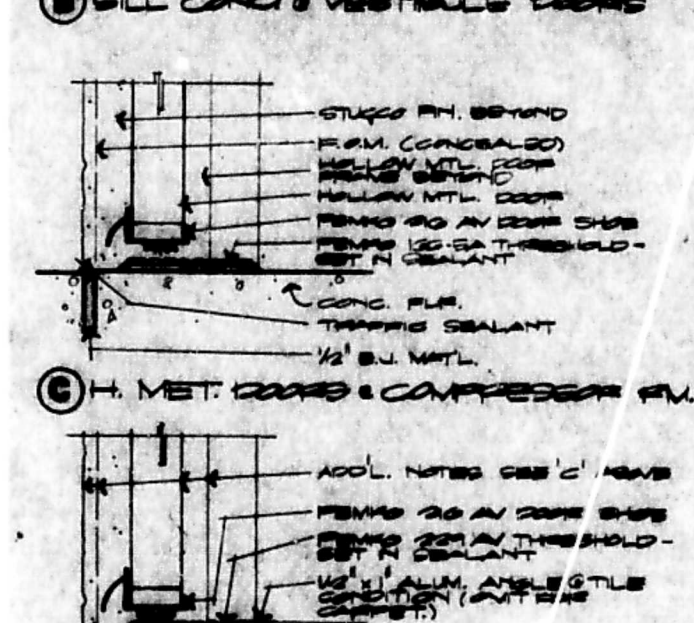
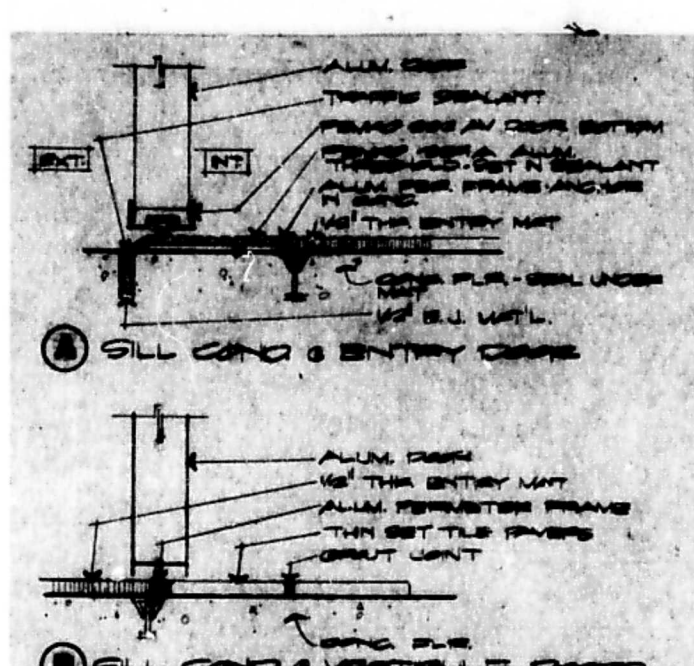
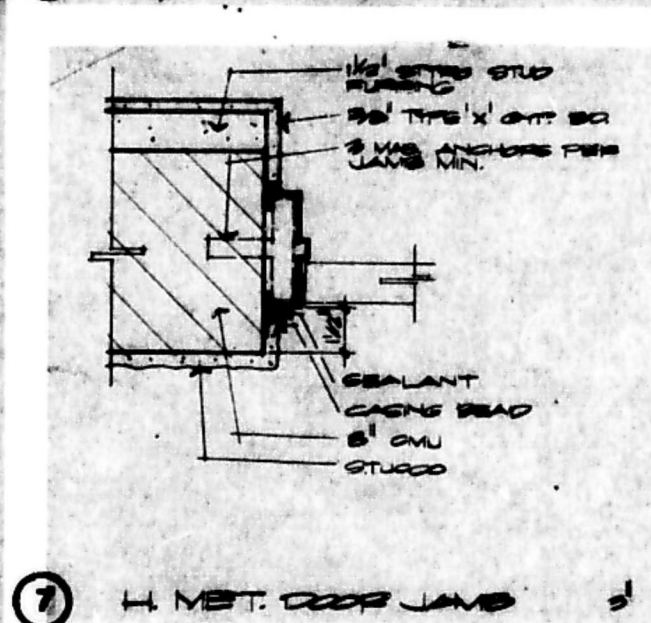
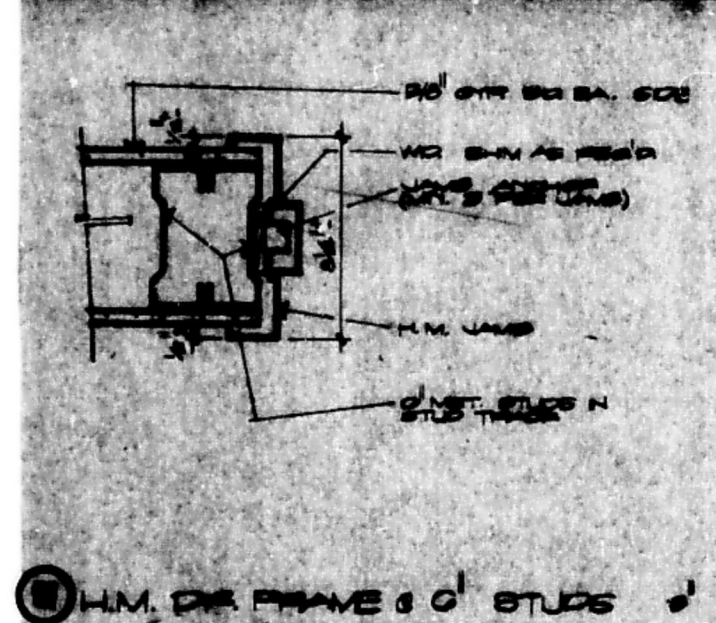
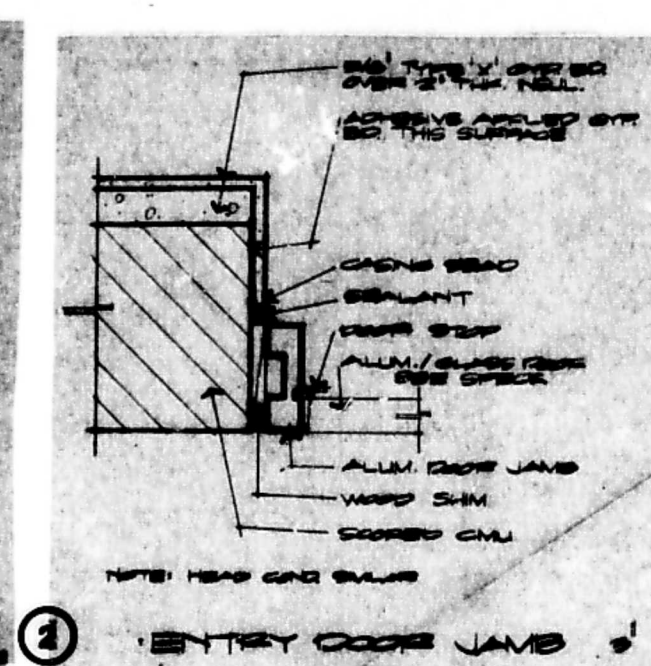
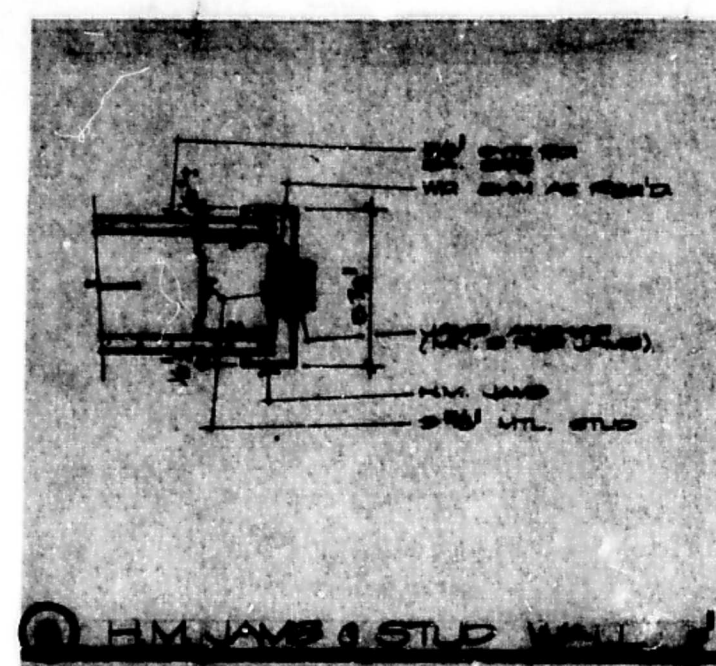
2. THESE DOCUMENTS ARE THE PROPERTY OF UNBERGER ASSOCIATES. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE IS PROHIBITED.

3. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORITY OF UNBERGER ASSOCIATES.

4. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORITY OF UNBERGER ASSOCIATES.

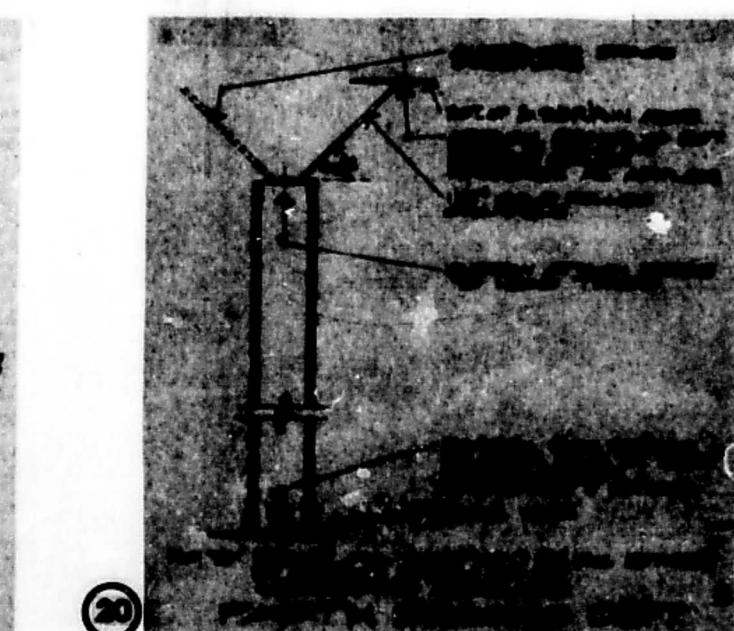
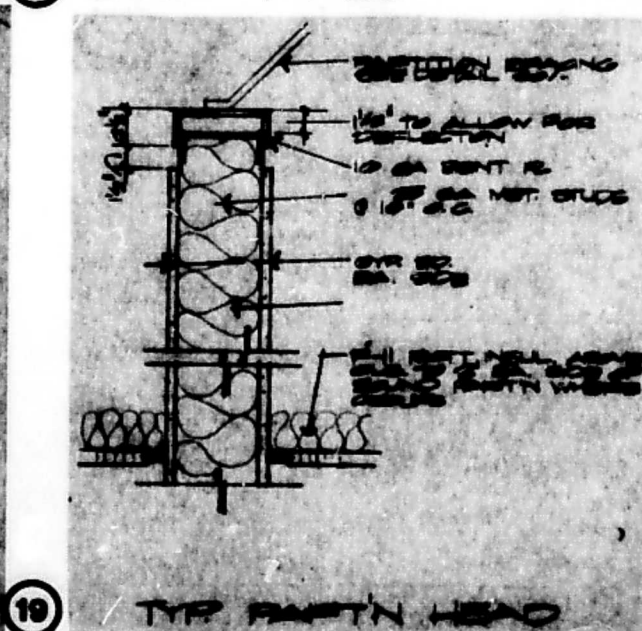
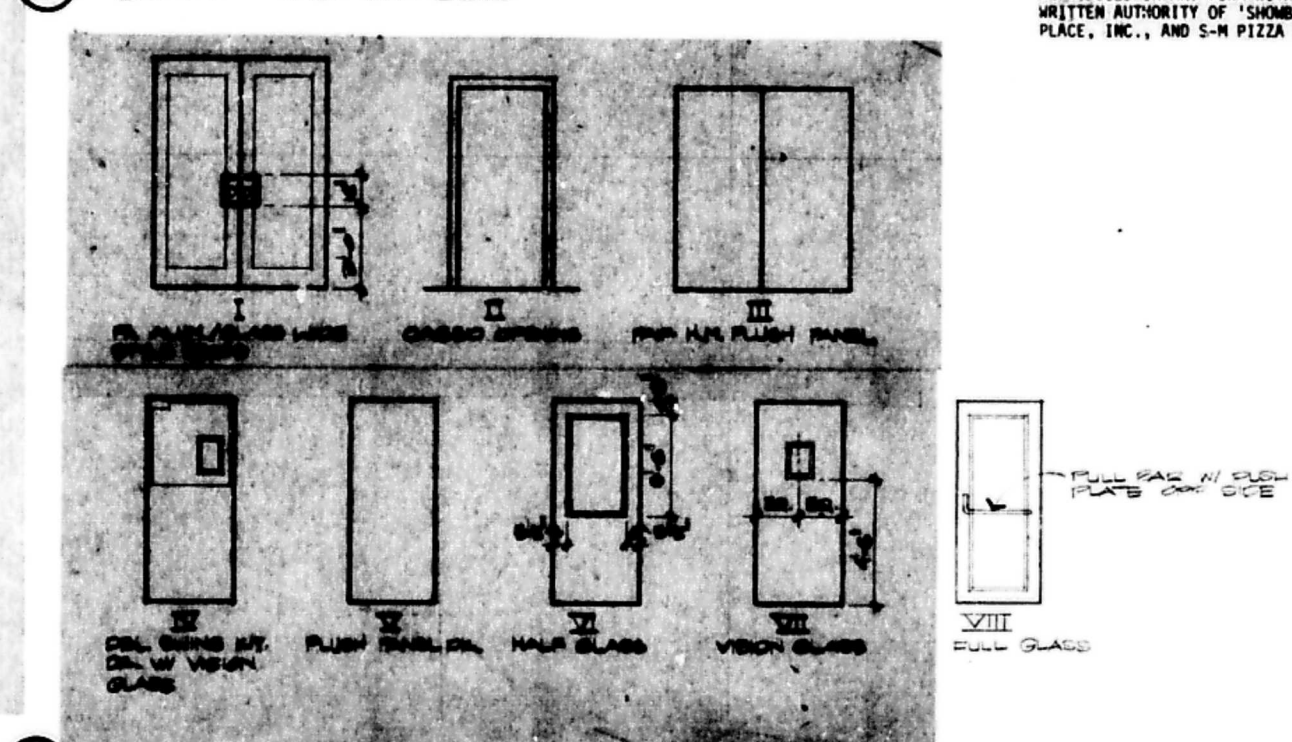
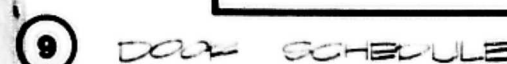
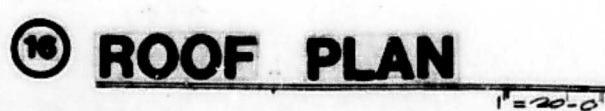
5. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORITY OF UNBERGER ASSOCIATES.

A-5



UL ROOF DATA

1. CURB/GARD COATING - CLASS W/
REF COATING PER UL CLASSI-
FICATION CANNOT BE SPEC,
PARAGRAPHS 7. & 7.1.
2. UPGRADE ROOF - CLASS W/
ROOF PER UL T10.
3. ROOFING INSTALLATION SHALL COMPLY
WITH UL TEST DATA & SPECIFICATION.





SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 100C
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE

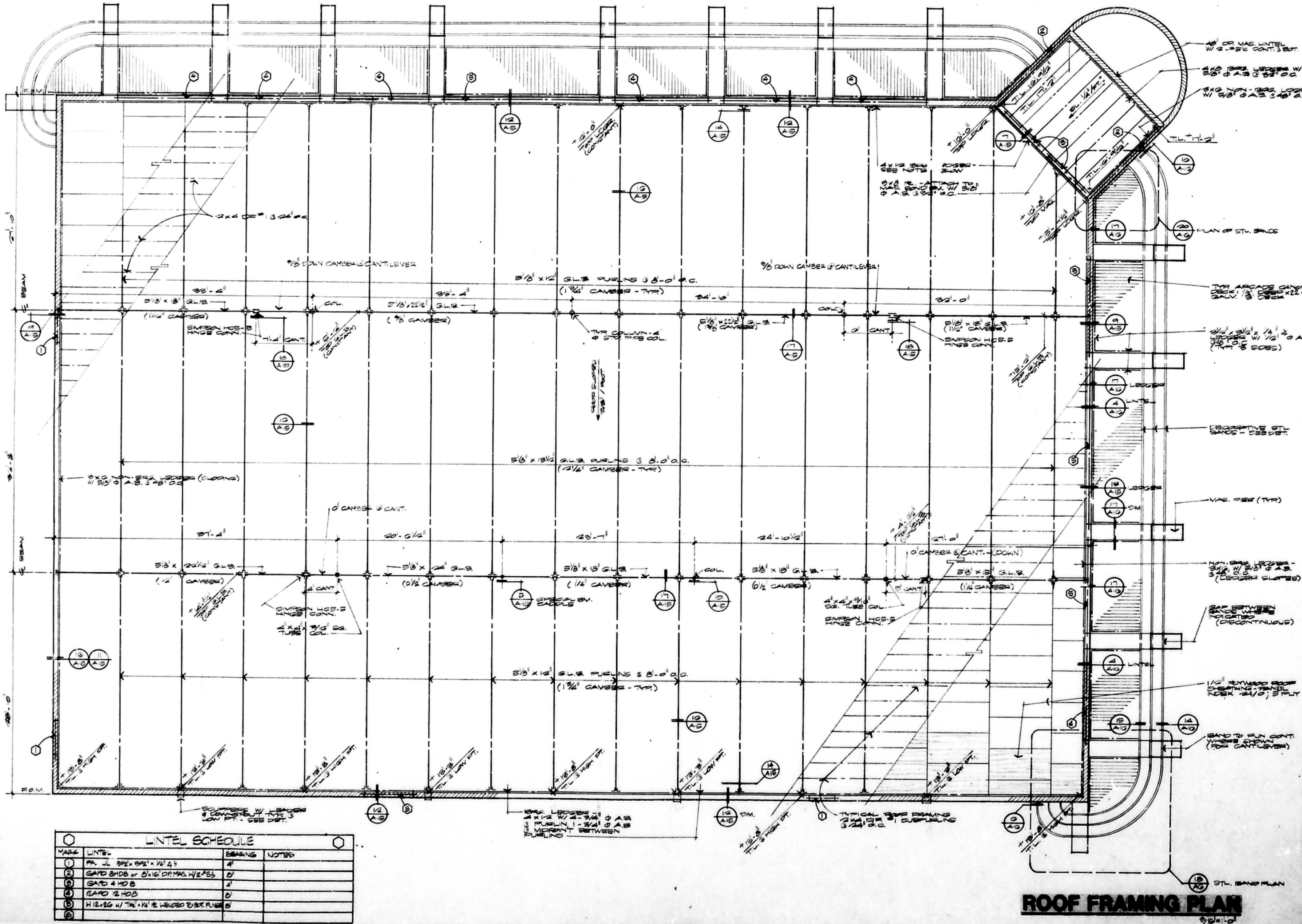
PHOENIX, ARIZONA 85014 (602) 264-3617

DATE: 10.10.83
JOB NO. 0224
PROJECT MGR. SPB
DRAWINGS BY: SD/EI
REVIEWED BY:

REVISION DATES

DATE: 10.10.83

A-8



MARK	LINTEL	BEARING	NOTES
1	FR. JL. 3/4\" x 3/4\" x 1/4\" A.S.	A'	
2	GAPD 3/4\" x 3/4\" x 1/4\" A.S.	B'	
3	GAPD 4\" x 4\"	A'	
4	GAPD 1/2\" x 1/2\"	B'	
5	W 12 x 26 W/ 1/4\" x 1/4\" RE WELDED TO ST. PLATE	B'	

ROOF FRAMING PLAN

THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF 'SHOWBIZ' PIZZA PLACE, INC., AND S-M PIZZA INCORPORATED.



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

UMBERGER ASSOCIATES

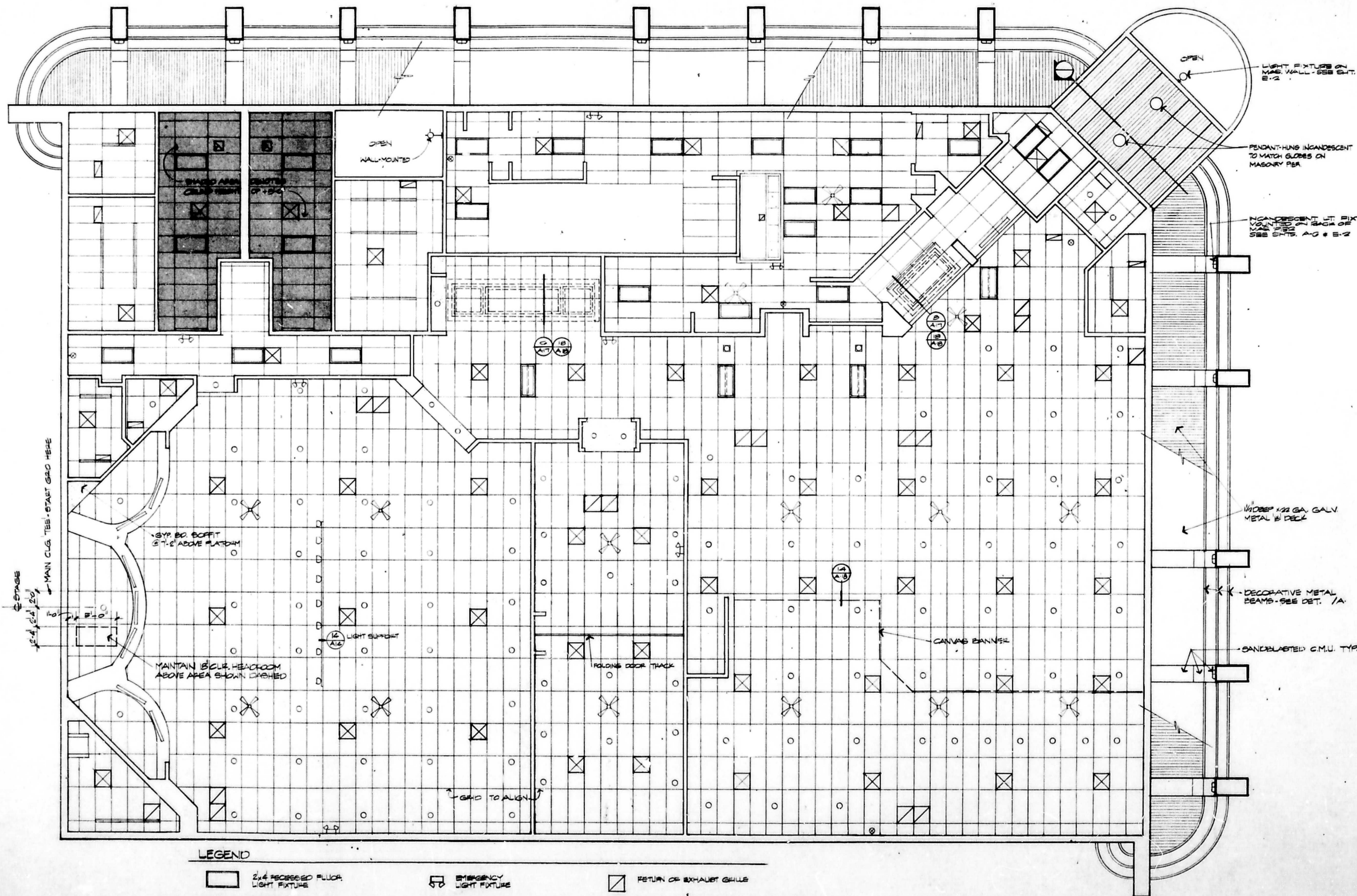
LAND PLANNING-ARCHITECTURE-SCAPE ARCHITECTURE

PHOENIX, ARIZONA 85014 • (602) 264-2617

DATE: 10-18-85
JOB NO: 0824
PROJECT MFR: SMO
DRAWN BY: SD/CS
REVIEWED BY:

REVISION DATES

A-9



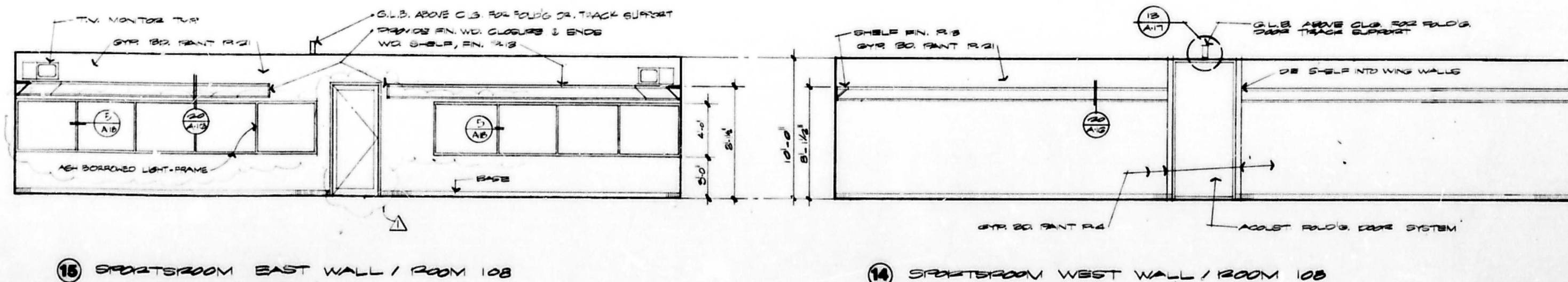
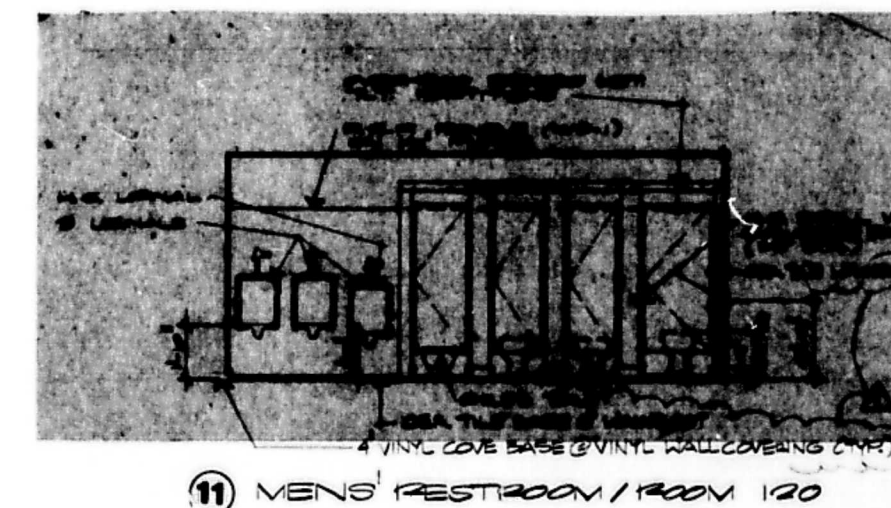
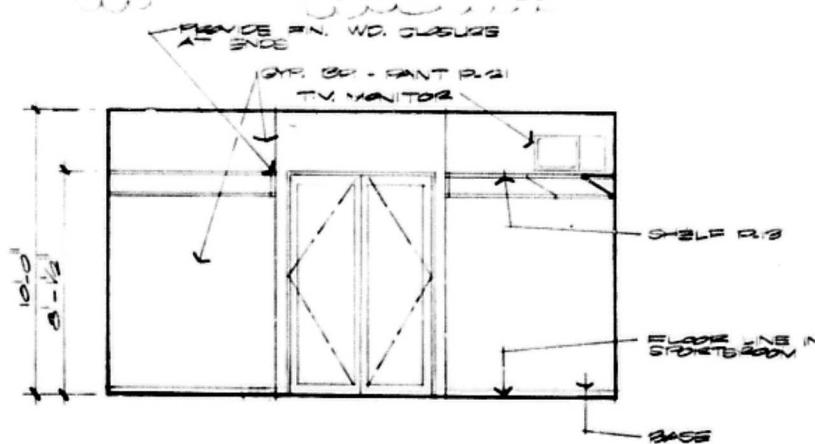
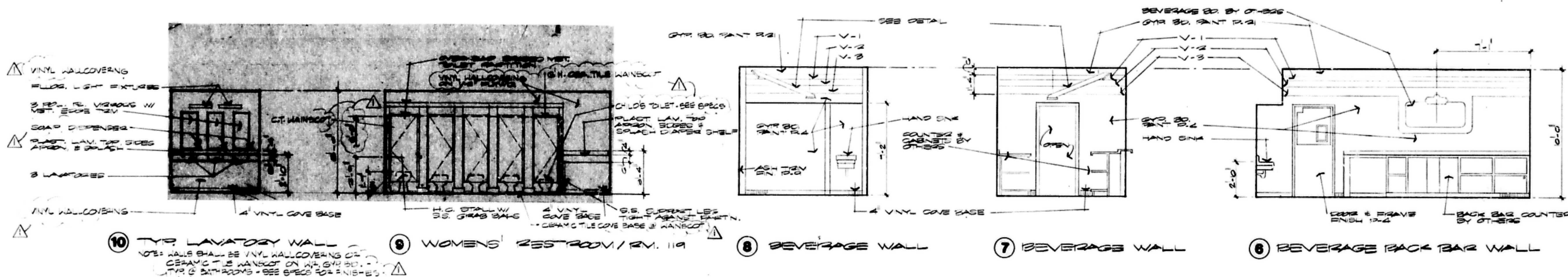
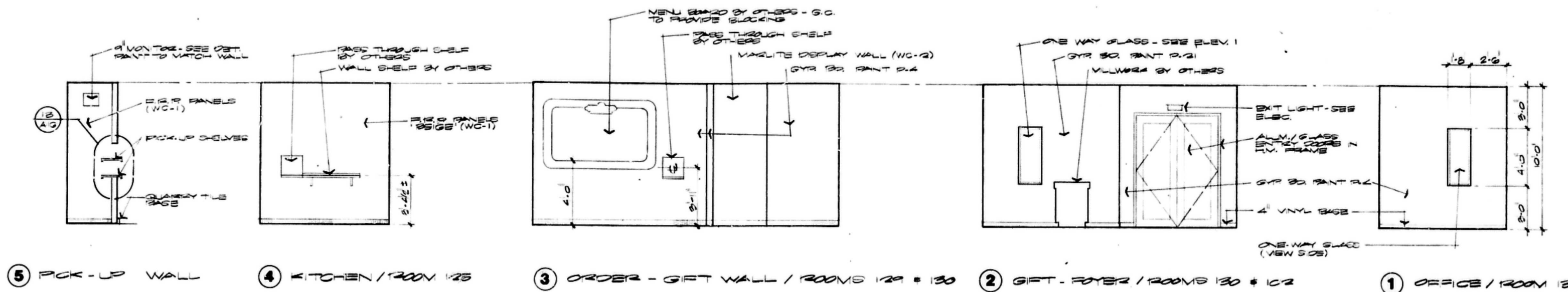
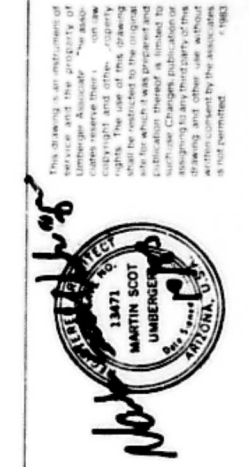
LEGEND

- | | | | | | |
|--|------------------------------------|--|------------------------------|--|-----------------------------------|
| | 2 1/4 RECESSED FLOOR LIGHT FIXTURE | | EMERGENCY LIGHT FIXTURE | | RETURN OR EXHAUST GRILLE |
| | SURFACE MTD. FLOOR LIGHT FIXTURE | | EXT. LIGHT | | SUPPLY DIFFUSER |
| | INCANDESCENT LIGHT FIXTURE | | TRACK LIGHT (INCAND.) N.L.C. | | PENDANT HUNG GLOBE LAMP (INCAND.) |
| | VARIABLE SPEED CEILING FAN N.L.C. | | ROOM NUMBER | NOTE: SEE ELEC. DRAWINGS FOR SPEAKER LOCATIONS | |

REFLECTED CEILING PLAN

9/16=1/0

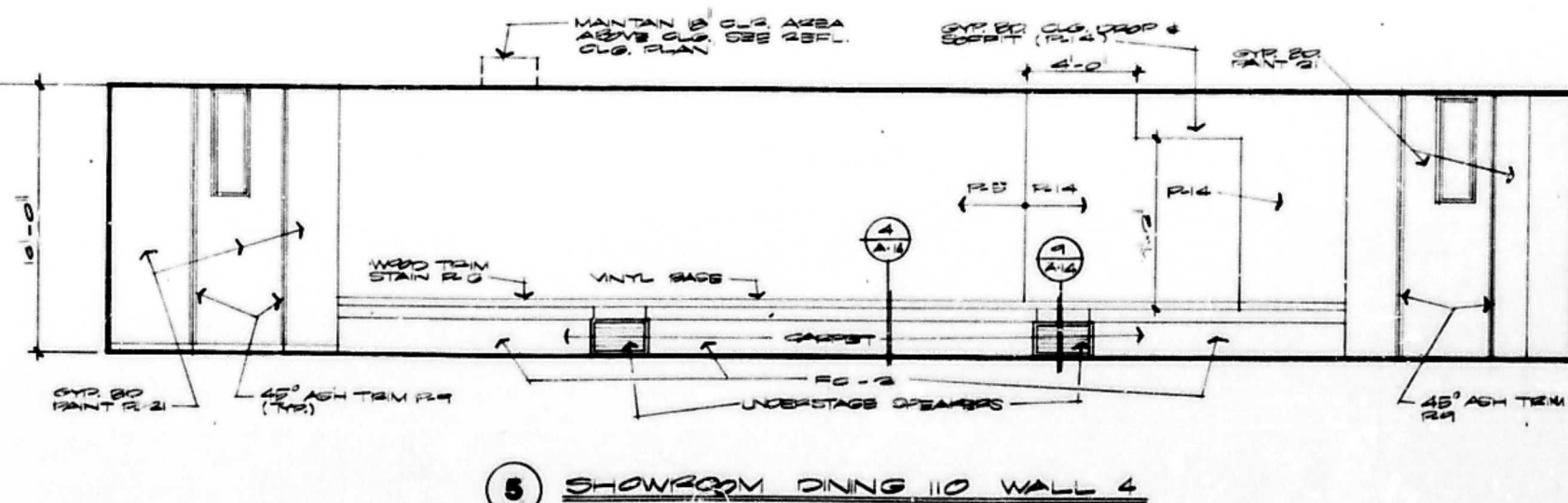
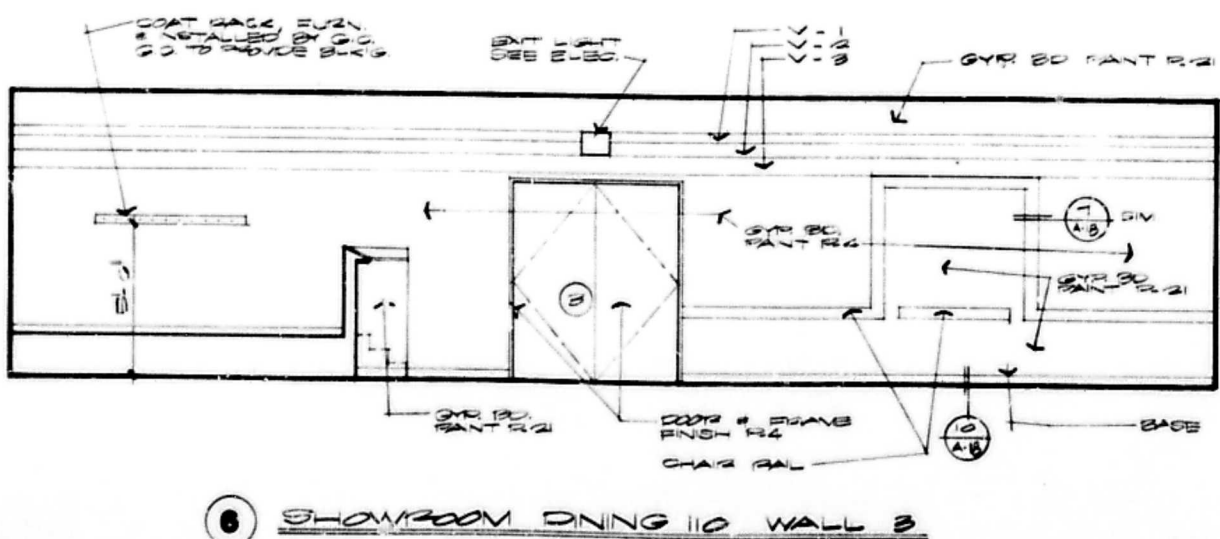
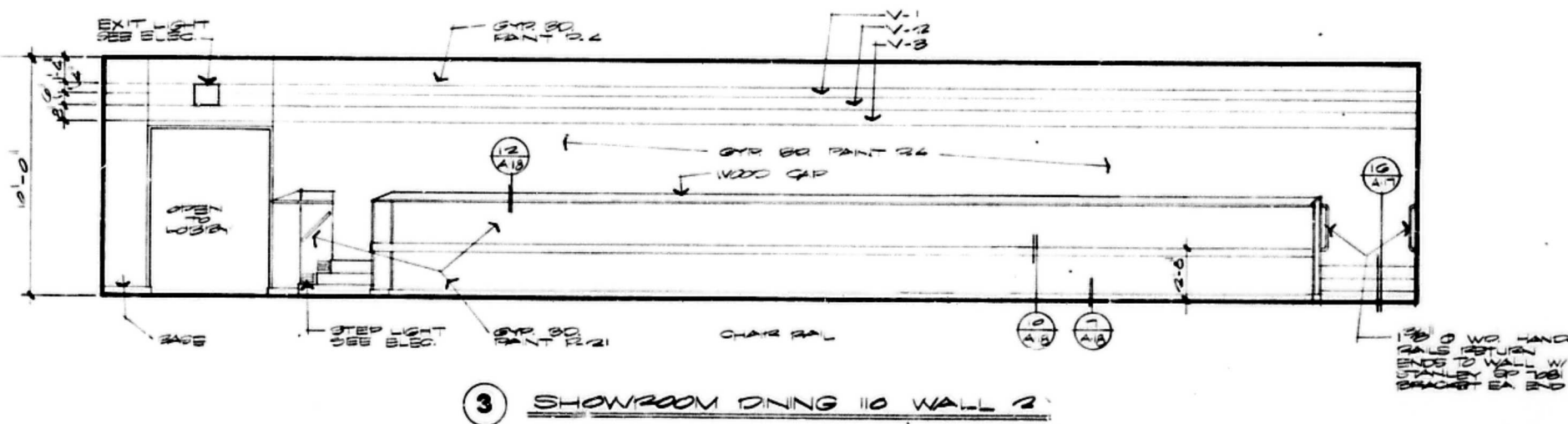
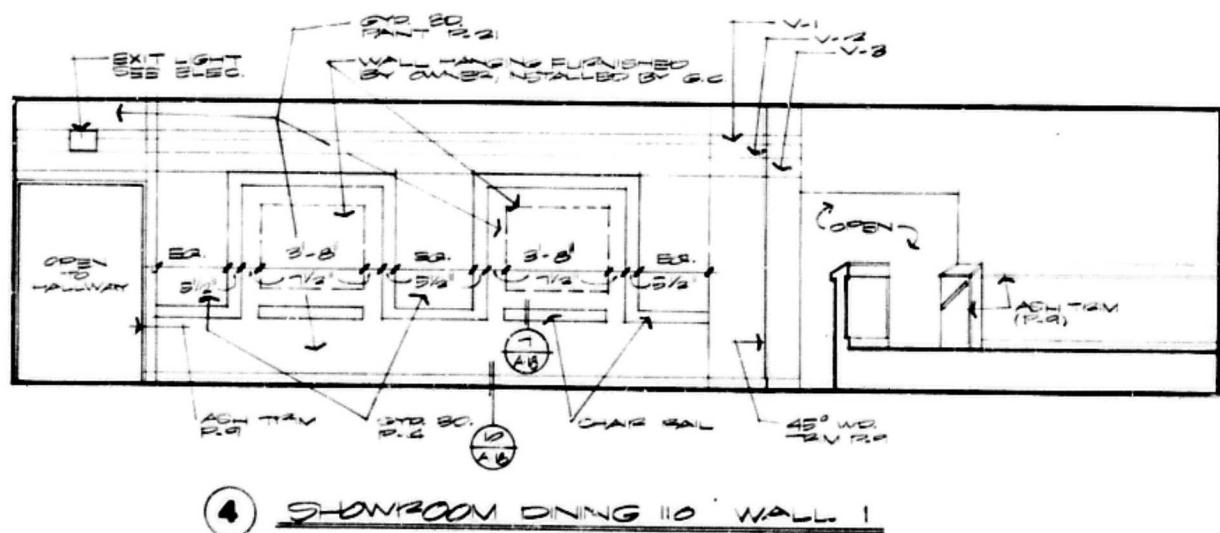
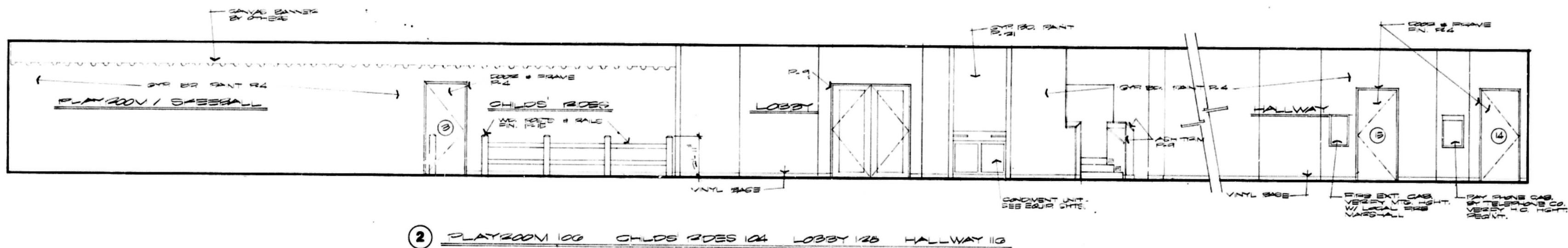
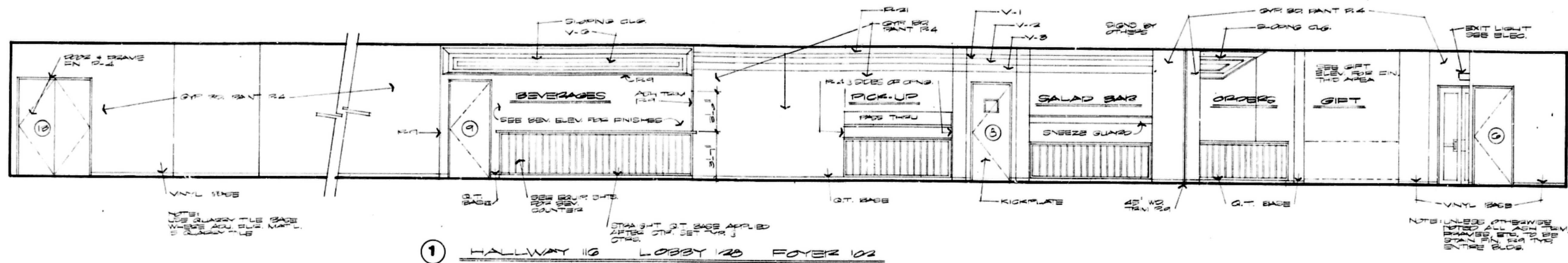




SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

DATE: 01.28.88
JOB NO: 8804
PROJECT MGR: SAC
DRAWING BY: FLS
REVIEWED BY:
REVISION DATES
ASSOCIATES
LAND PLANNING ARCHITECTURE

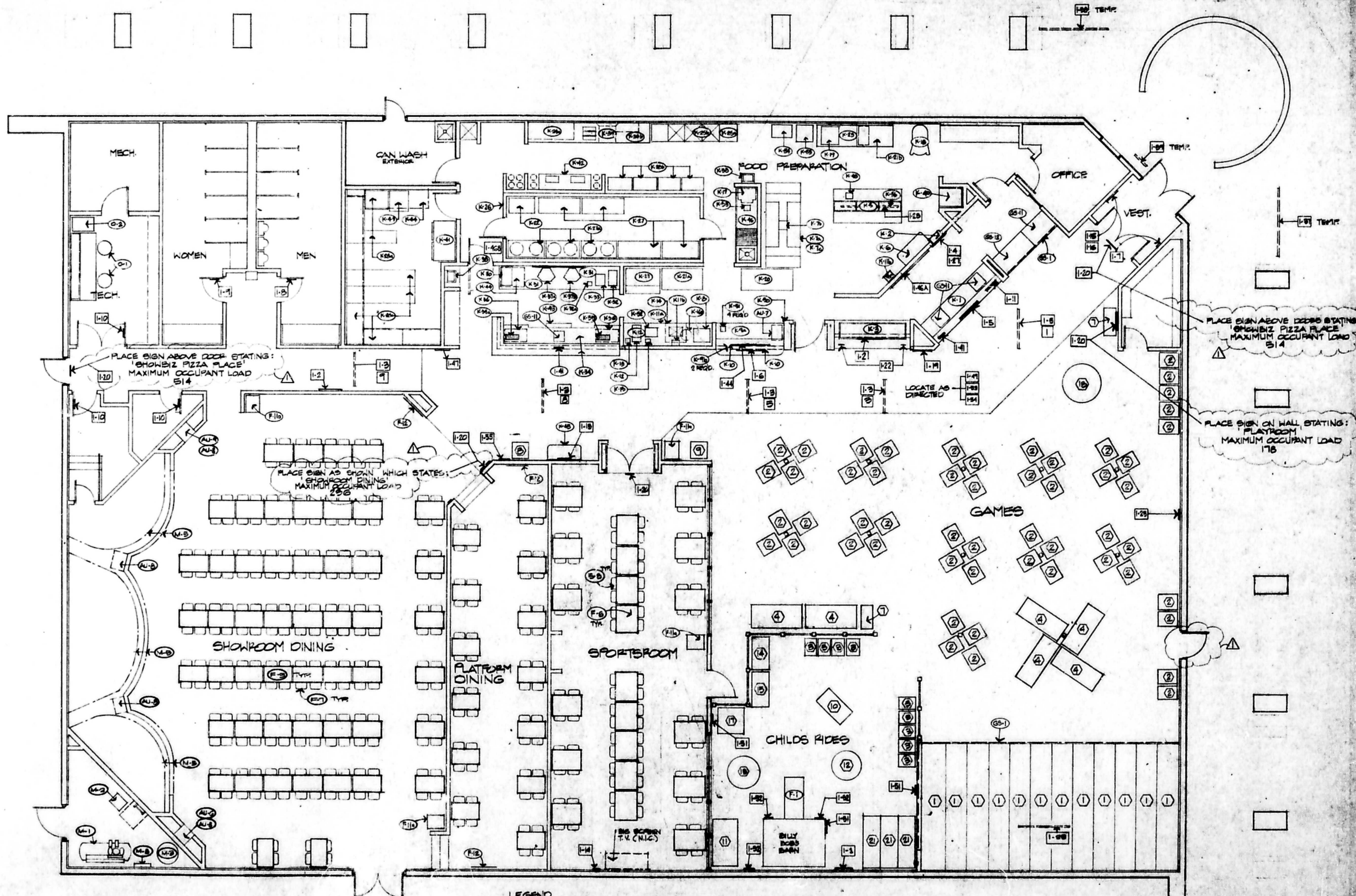


SHOWRIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
9990 E. NORTHERN AVENUE SUITE 100C
PHOENIX, ARIZONA

DATE: 10.15.92
JOB NO: 0264
PROJECT MGR: SAC
DRAWING BY: EL
REVIEWED BY:
UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE

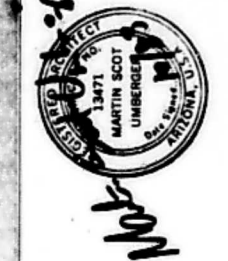
A-11



LEGEND

- EQUIPMENT NO. - REF. SPEC., DIV. 11
 EQUIPMENT TYPE:
 AU - AUDIO VISUAL
 F - FURNITURE
 K - KITCHEN
 M - MISCELLANEOUS
 O - OFFICE
- SIGN NO. - REF. SPEC.

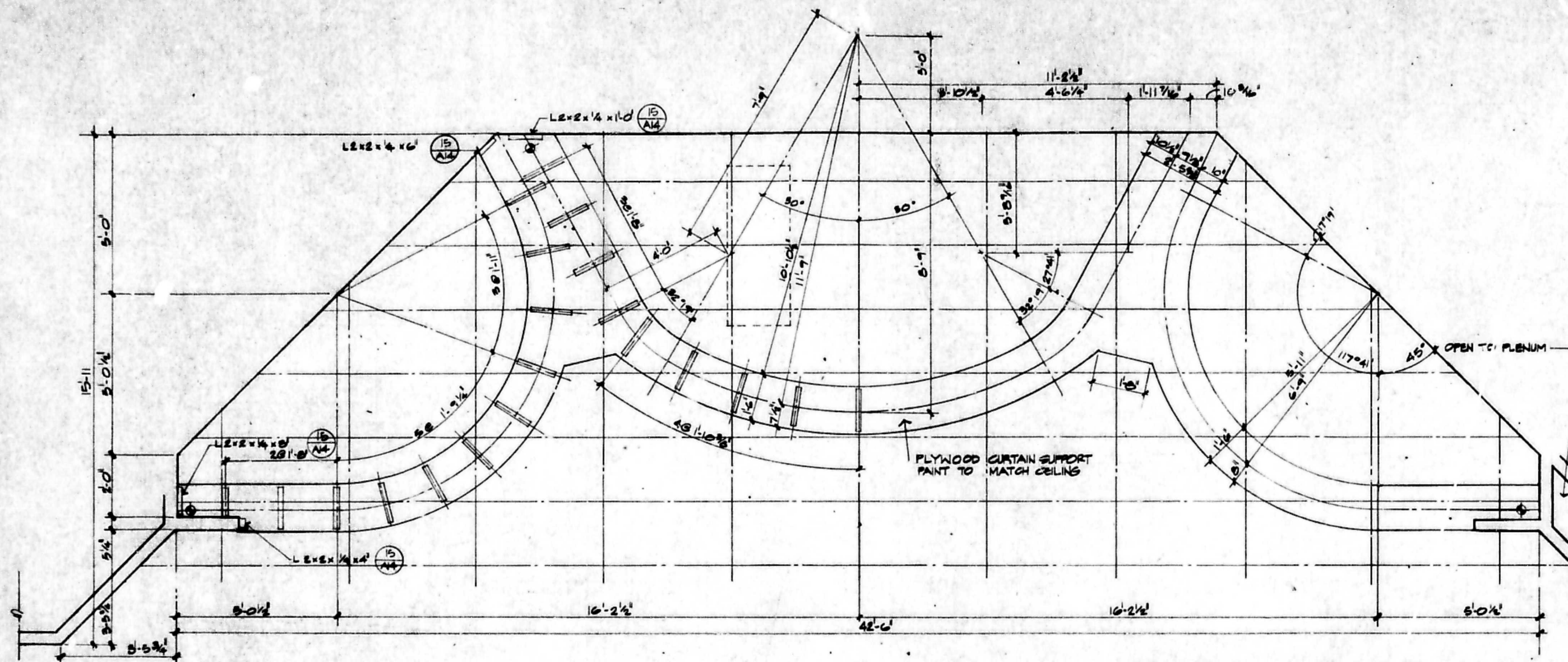
- SIGN NO. - REF. SPEC., DIV. 10
 SIGN TYPE:
 I - INTERIOR
 E - EXTERIOR
 BANNER NO. - REF. SPEC.



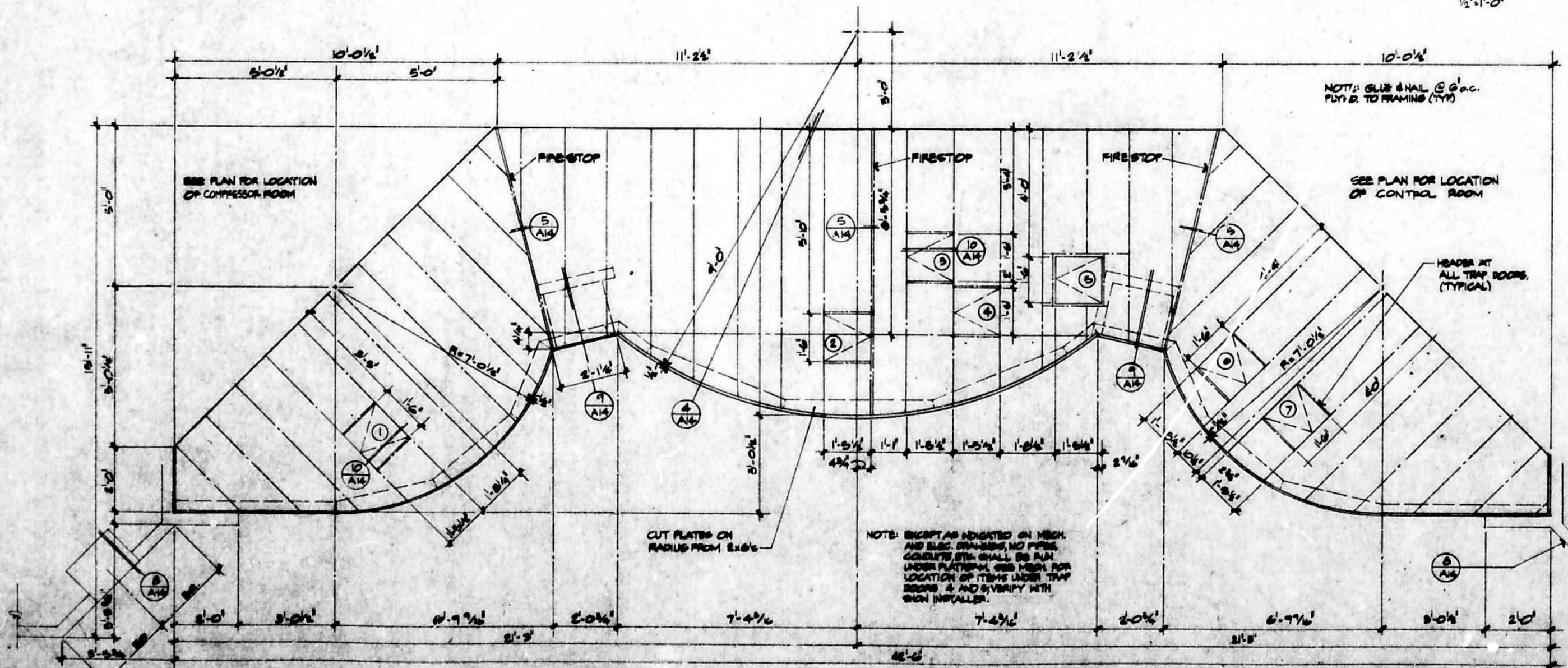
SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
 S-M PIZZA INC. STORE NO. 2
 2990 E. NORTHERN AVENUE SUITE 10C
 PHOENIX, ARIZONA

DATE: 11 NOV 88
 JOB NO. 8814
 PROJECT MGR. JAC
 DRAWINGS BY: JAC
 REVIEWED BY: JAC
 REVISION DATES
 UMBERGER ASSOCIATES
 LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE



CEILING PLAN @ PLATFORM, N.I.C.
1/2"=1'-0"



PLATFORM FRAMING PLAN, N.I.C.
1/2"=1'-0"

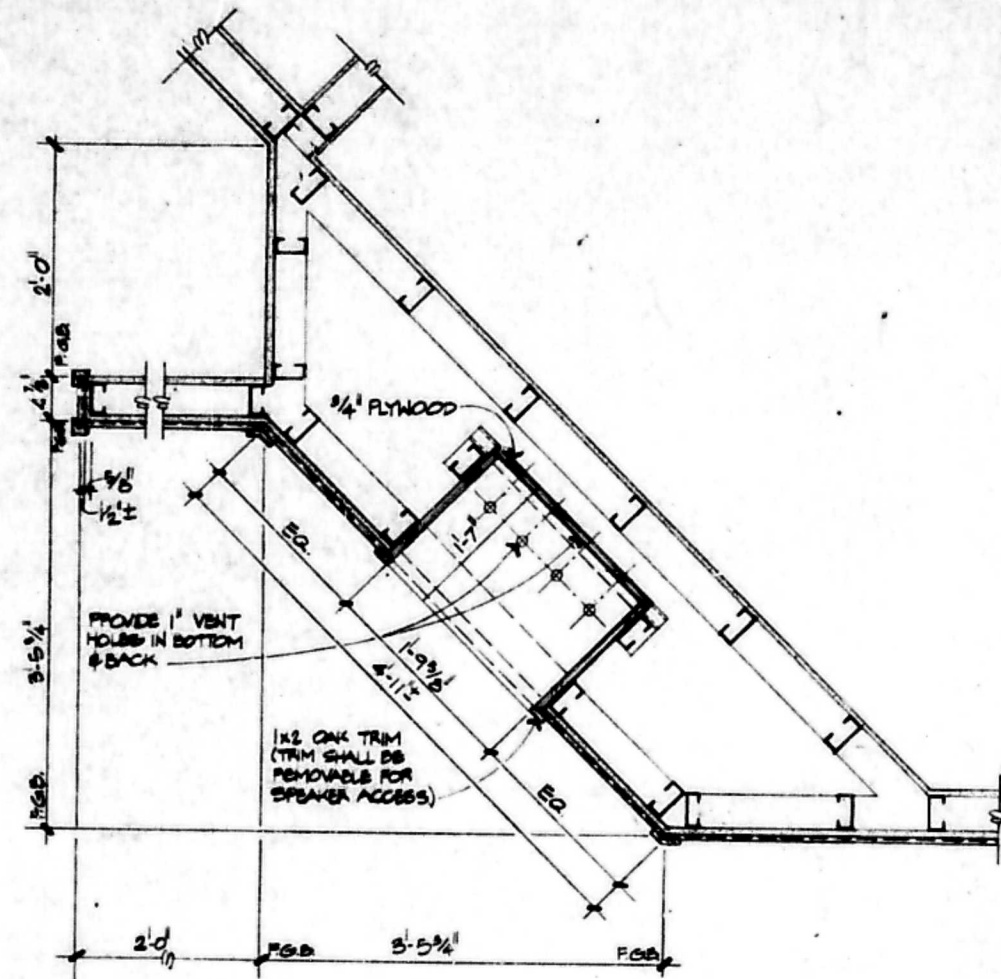


SHOWBIZ PIZZA PLACE

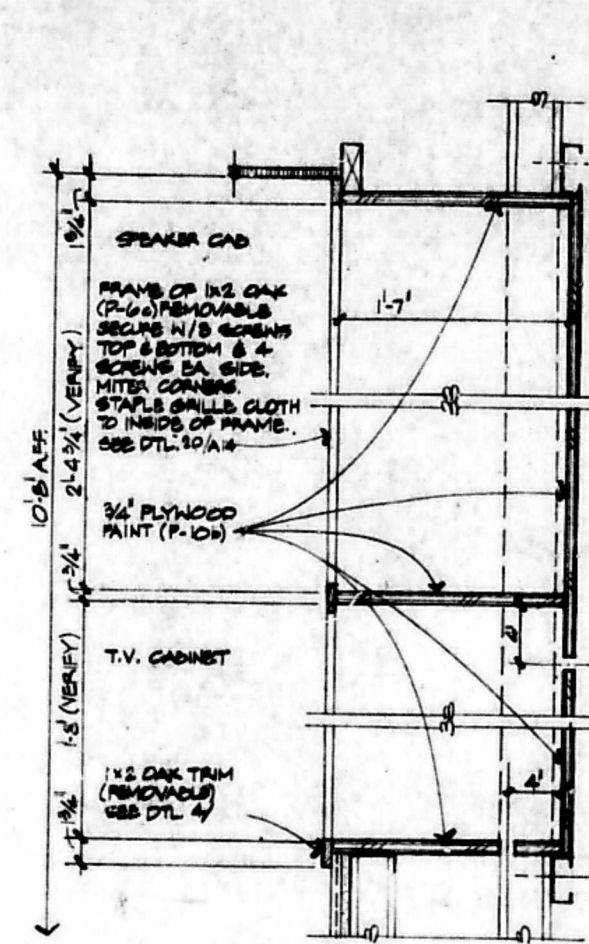
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

DATE: 01.15.99
JOB NO: 2024
PROJECT MGR: JMO
DRAWINGS BY: CE
REVIEWED BY:
REVISION DATES
CUMBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE - LANDSCAPE ARCHITECTURE

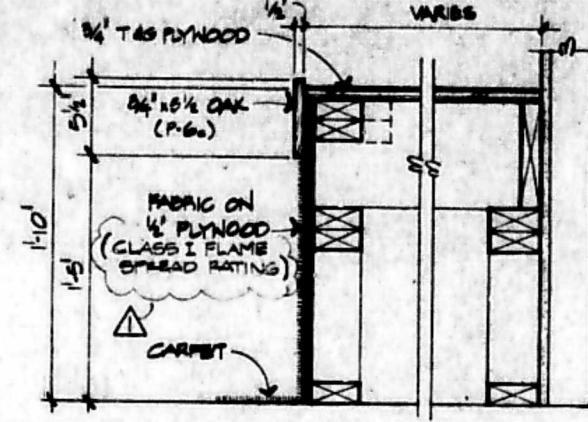
A-13



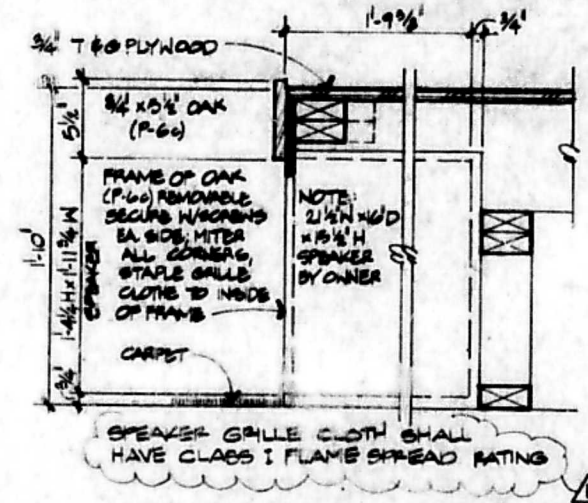
9 SPEAKER LOCATION @ RIGHT OF STAGE
1"=1'-0"



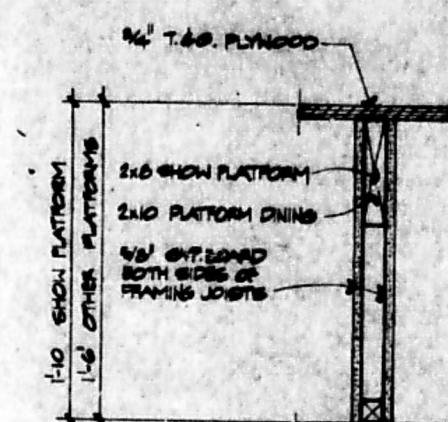
10 WALL-MOUNTED SPEAKER LOCATION
1 1/2"=1'-0"



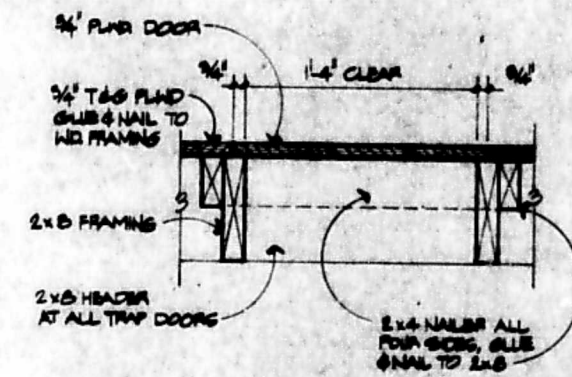
11 TYPICAL STAGE CONSTRUCTION
1 1/2"=1'-0"



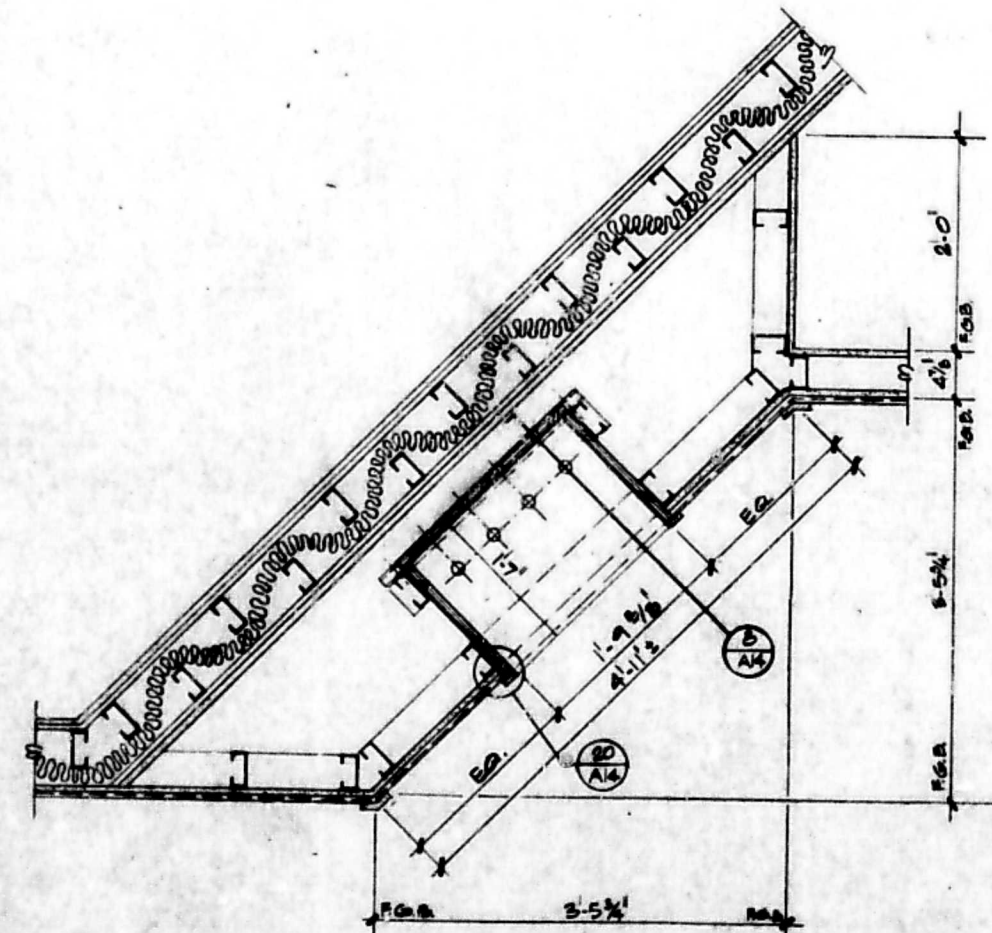
12 UNDER-STAGE SPEAKER LOCATION
1 1/2"=1'-0"



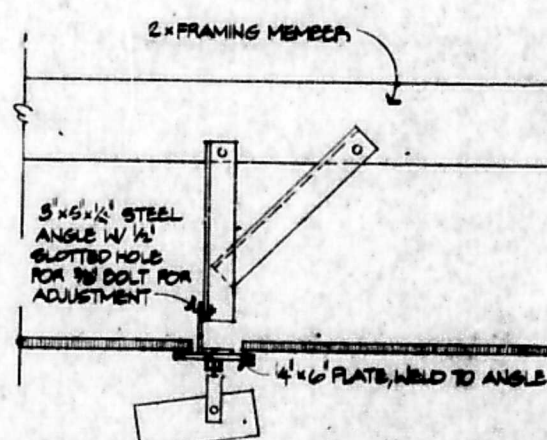
13 FIRESTOP @ PLATFORM
1 1/2"=1'-0"



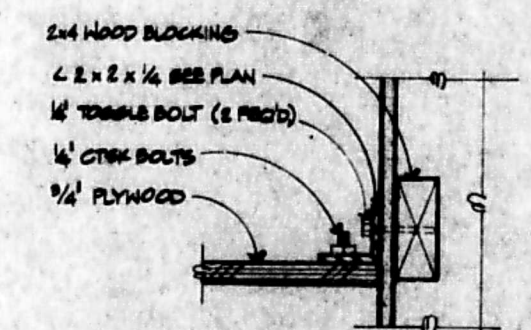
14 ACCESS TO UNDER STAGE
1 1/2"=1'-0"



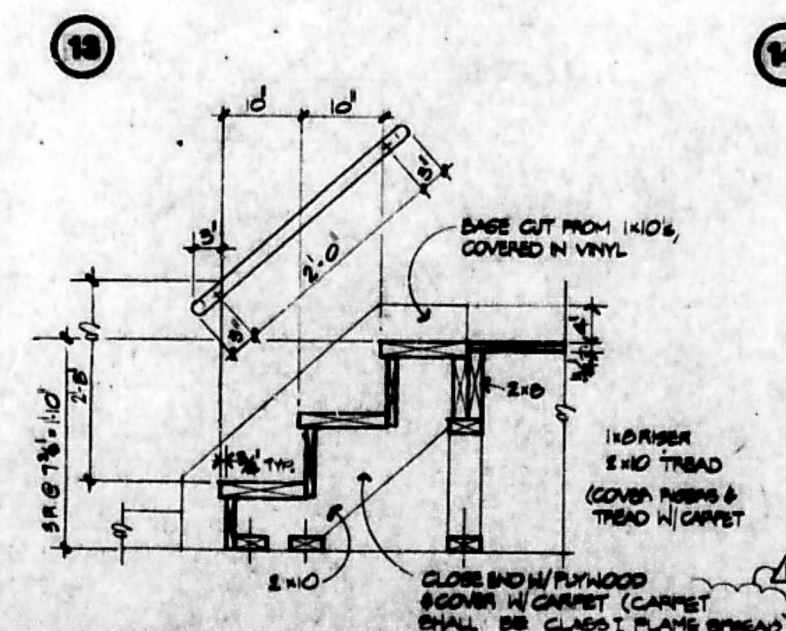
15 SPEAKER LOCATION @ LEFT OF STAGE
1"=1'-0"



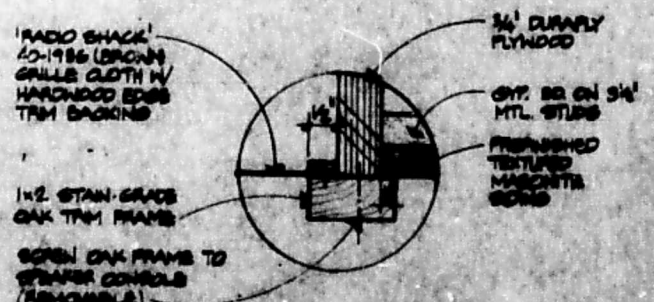
16 SPOTLIGHT SUPPORT



17 CURTAIN RUNNER SUPPORT @ WALL
3/4"=1'-0"



18 STAIR @ CONTROL ROOM
1"=1'-0"



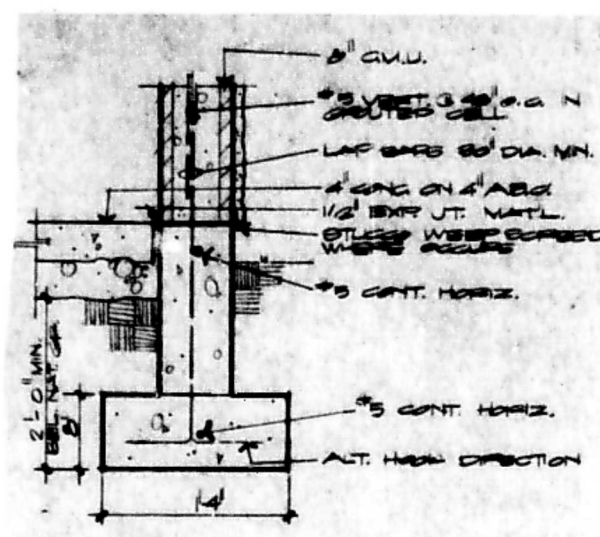
19 SPEAKER FRAME DETAIL
1 1/2"=1'-0"



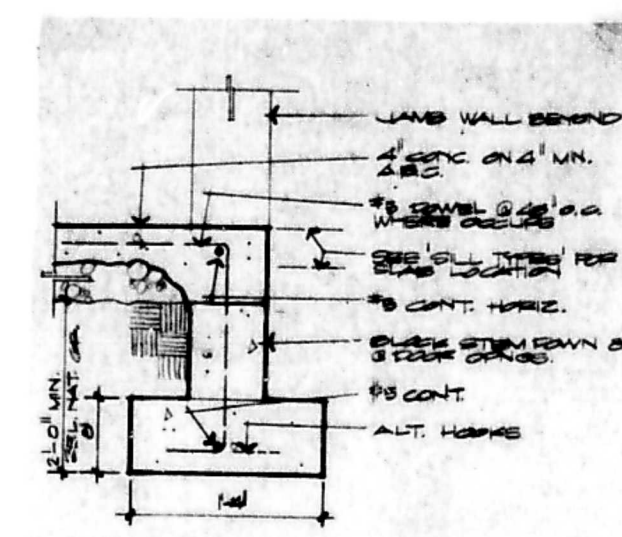
SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

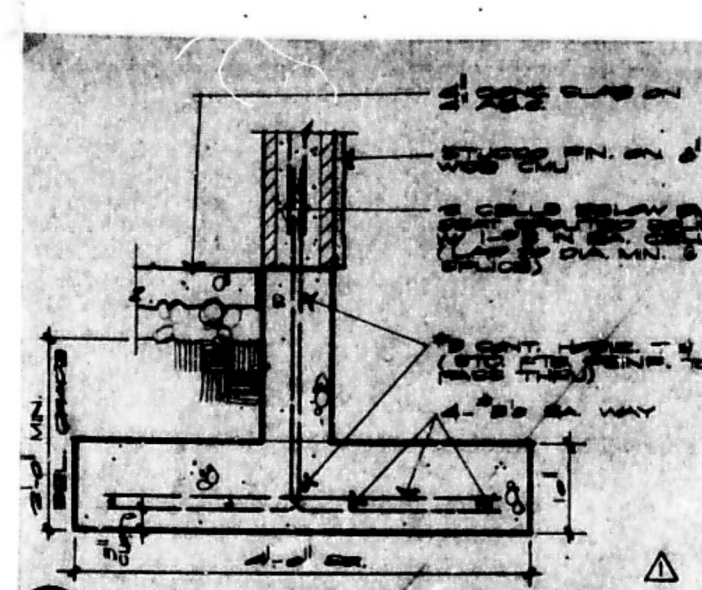
DATE: 10-18-89
JOB NO: 8904
PROJECT MGR: SMO
DRAWINGS BY: CE
REVIEWED BY:
REVISION DATES
ASSOCIATES
UMBERGER
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE



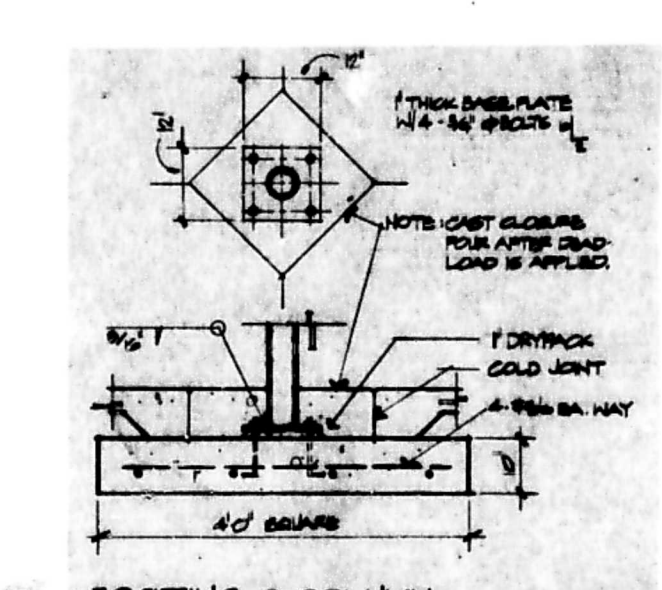
1 TYP. FOOTING @ EXT. WALL



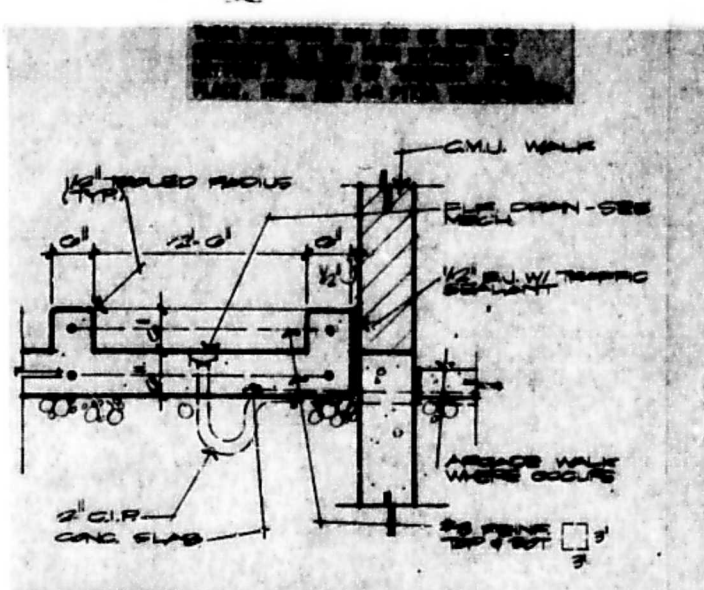
2 SLAB TURNDOWN



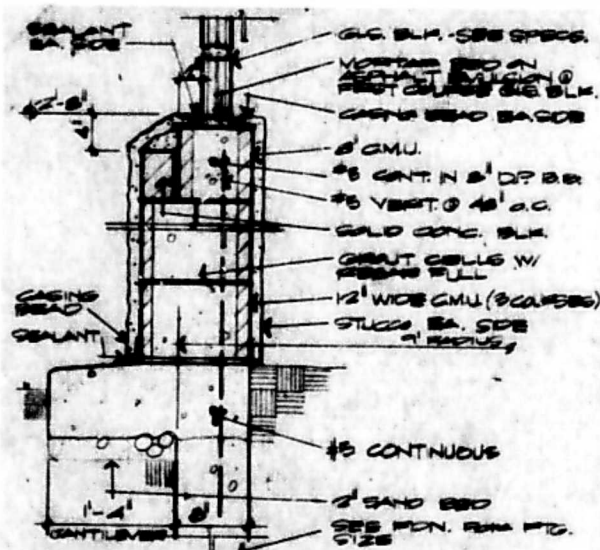
3 FTG. & FLUSH PLASTER



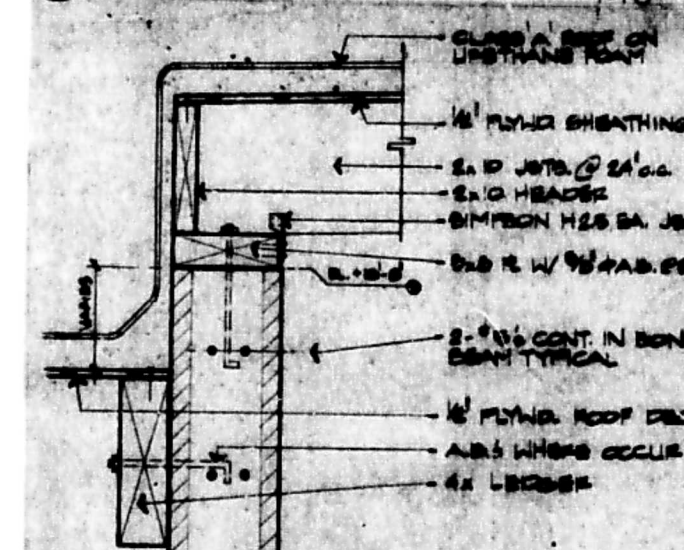
4 FOOTING @ COLUMN



5 SECTION @ CAN WASH



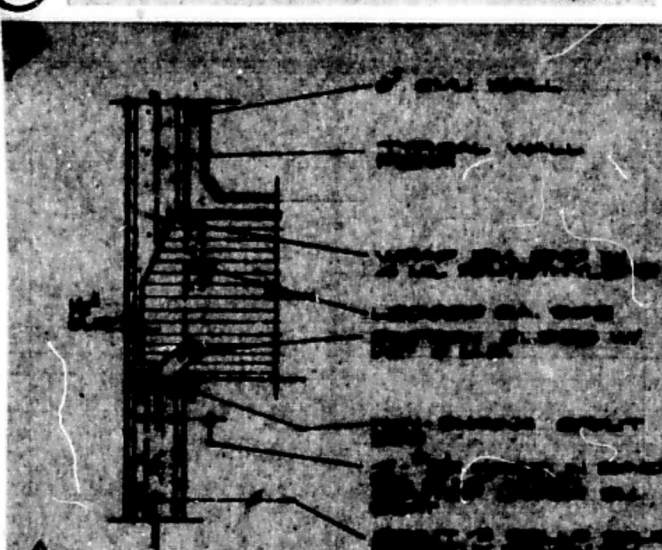
6 BASE OF TURRET



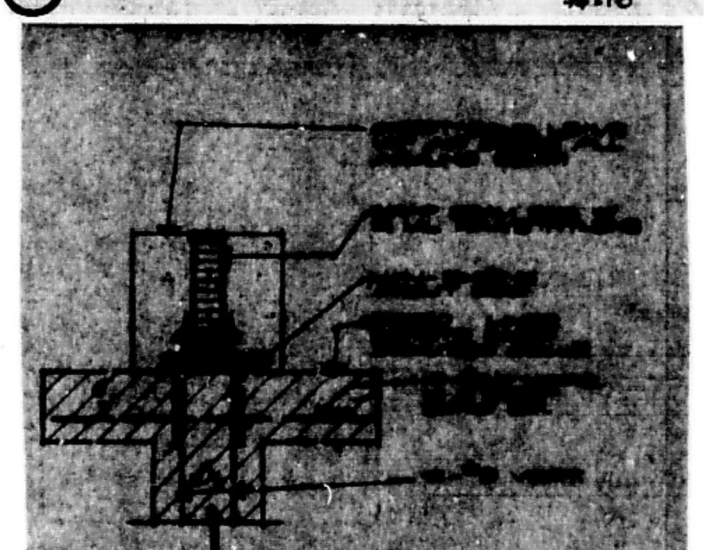
7 ROOF TRANSITION DETAIL



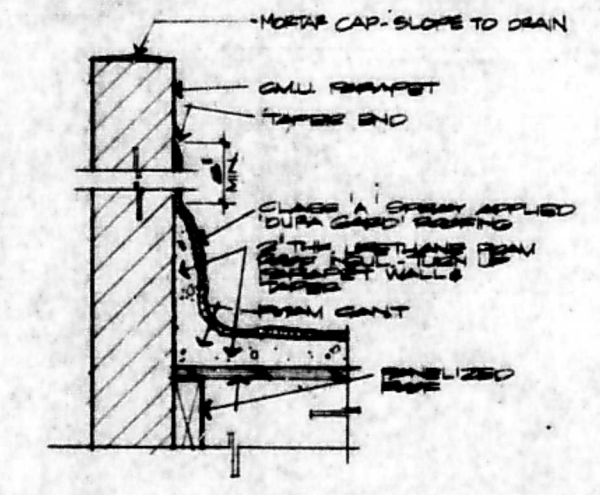
8 SHRINKAGE CONTROL JOINT



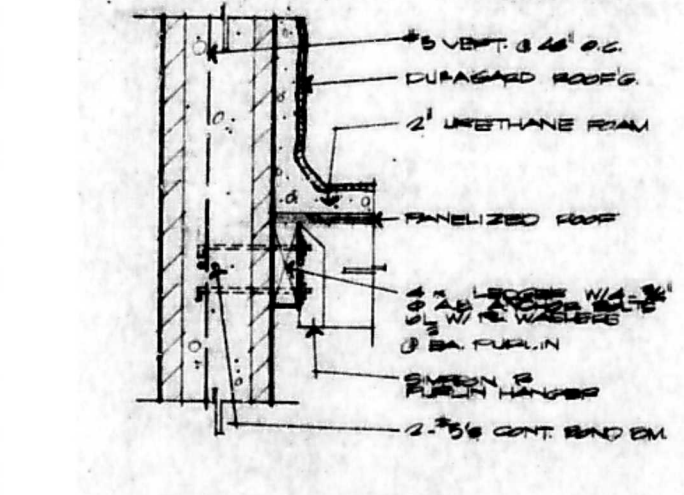
9 CONSTRUCTION JOINT



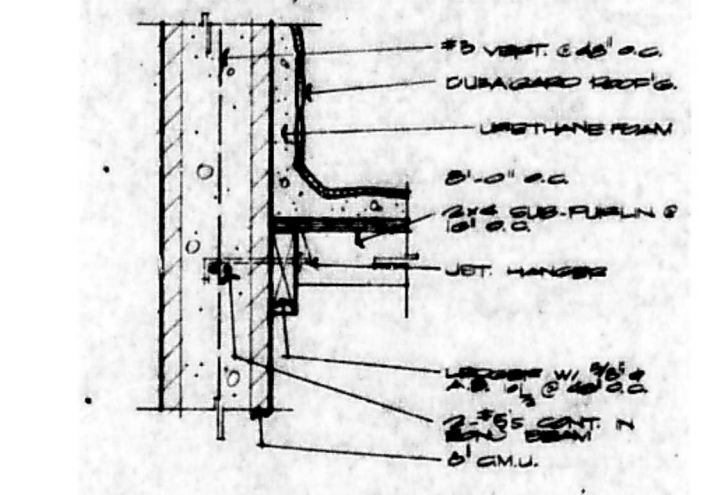
10 FLUSH PLASTER



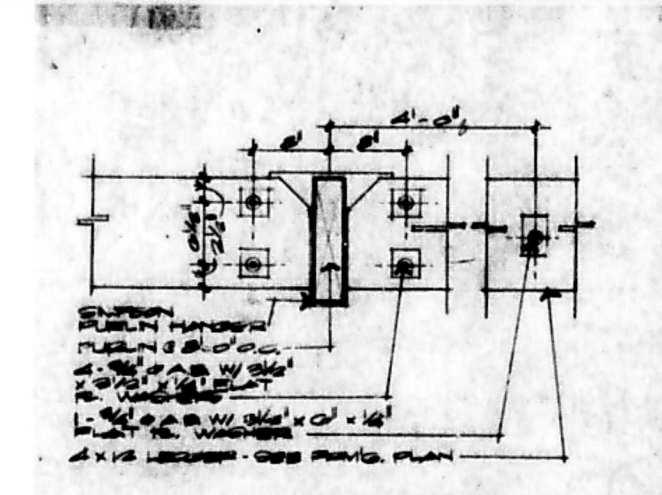
11 ROOFING @ PARAPET



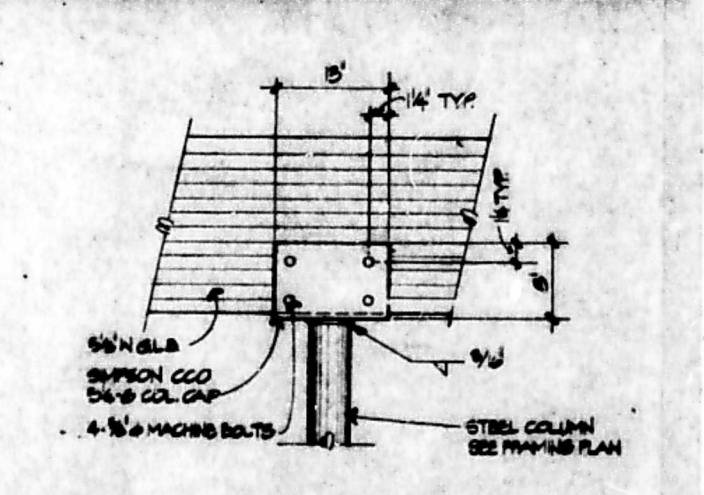
12 PURLIN @ LEDGER



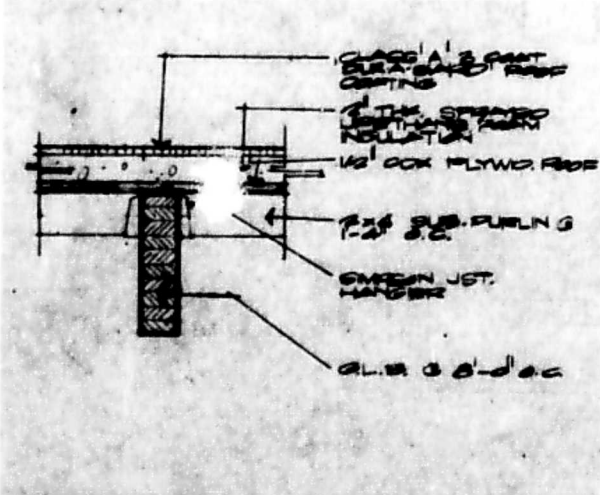
13 LEDGER @ SUB-PURLIN



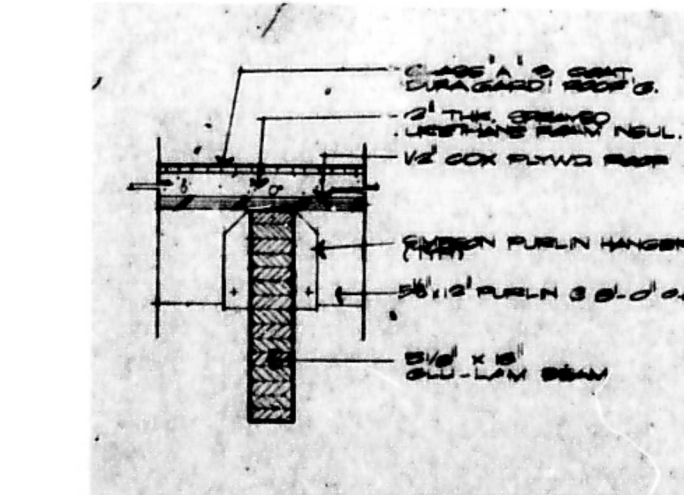
14 LEDGER ELEVATION @ PURLIN



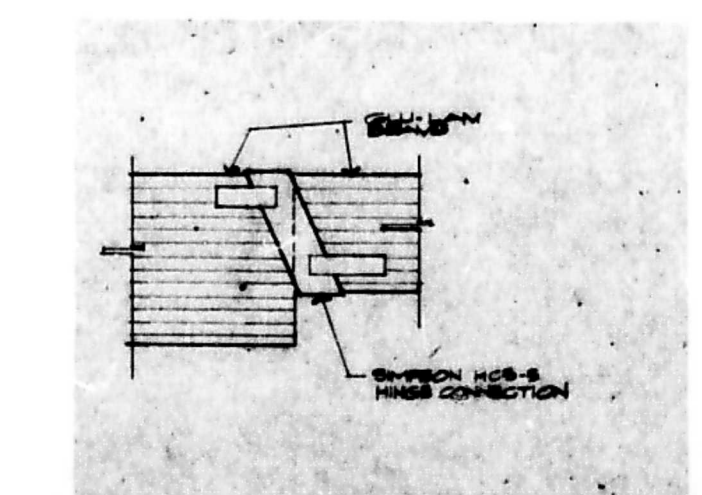
15 BEAM SADDLE @ GLULAM BEAM



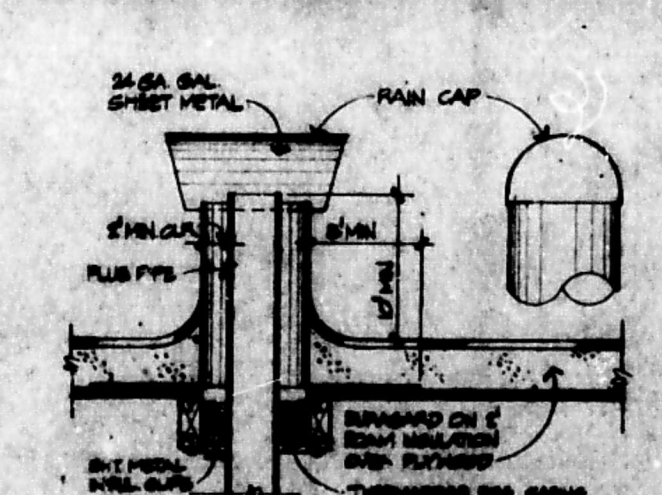
16 SUB-PURLIN TO PURLIN



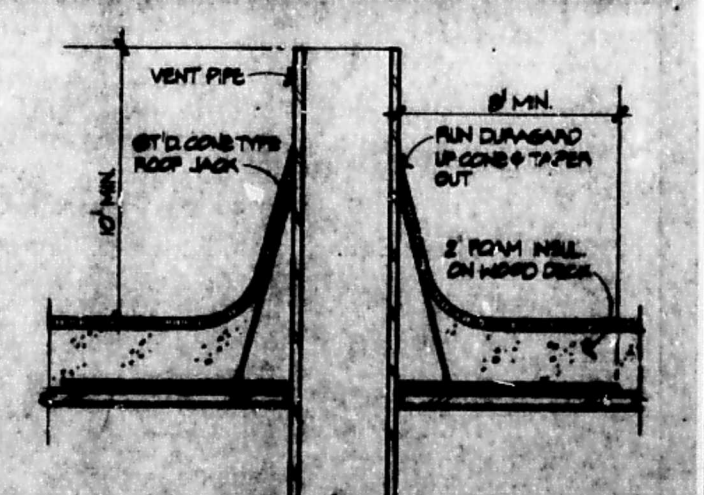
17 PURLIN TO GLULAM BEAM



18 HINGE CONN. @ CANT. GLULAM BEAM



19 EXHAUST VENT THROUGH ROOF



20 DR. VENT THROUGH ROOF

DETAILS

SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

UNIBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE

DATE: 03-25
JOB NO: 2004
PROJECT MFR: SMC
DRAWINGS BY: CS
REVIEWED BY:

REVISION DATES

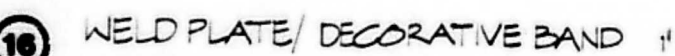
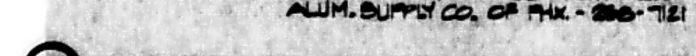
REV. 25 NOV. 03

REV. 25 NOV. 03

NOTE: ROOFING SHALL BE 6" URETHANE FOAM FOR UL TPO (CLASS 'A') ON FUND. CHECK W/ DURAGARD CLASS 'A' CERTING FOR UL CLASSIFICATION CARD NO. 8995 C PARAGRAPHS 7, 8 & 9. ROOFING INSTALLATION SHALL COMPLY W/ MFR'S RECOMMENDATIONS & U.L. DATA.

DETAILS

A-15



DATE: 10-15-2020
JOB NO: 3024
PROJECT MGR: SCD
DRAWINGS BY: S.C.F.
REVIEWED BY:

REVISION DATE: REV. 19 DEC. 1985

DATE: 10-5-90
JOB NO: 30024
PROJECT MGR: SEC
DRAWINGS BY: SEC
REVIEWED BY: _____
REVISION DATES _____
UNBERGER ASSOCIATES

A-16

SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE • SUITE 100C
PHOENIX, ARIZONA

815 EAST CAMELBACK ROAD SUITE 205 PHOENIX, ARIZONA 85014 (602) 264-2617

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SHOWBIZ PIZZA PLACE

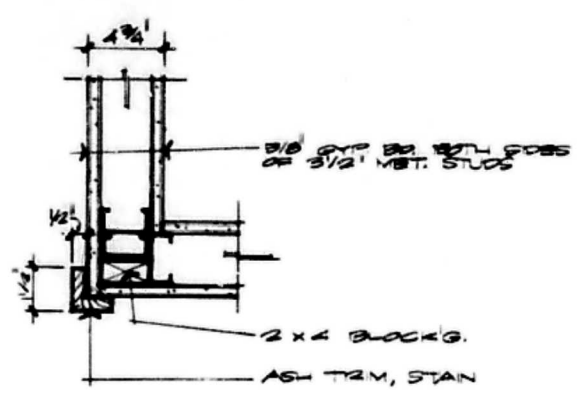
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE

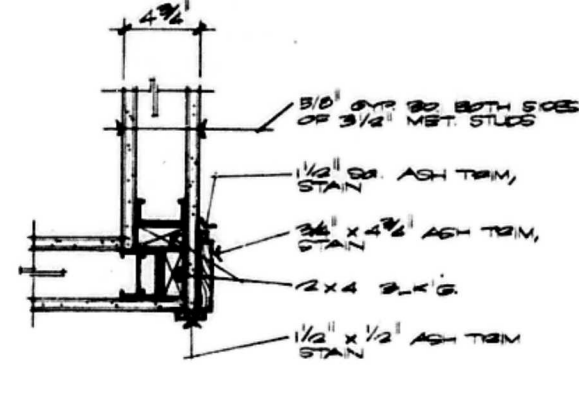
DATE: 12.26.84
FOR NO. 2990
PROJECT MGR. BY: E. F.
DRAWINGS BY: E. F.
REVIEWED BY: E. F.

REVISION DATES

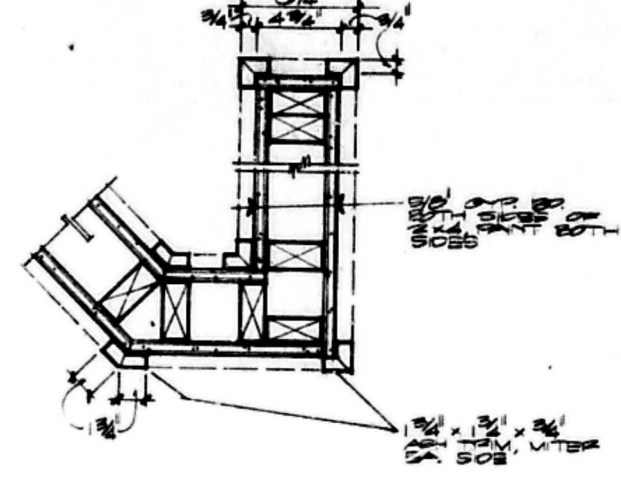
PHOENIX, ARIZONA 85014 (602) 981-2617



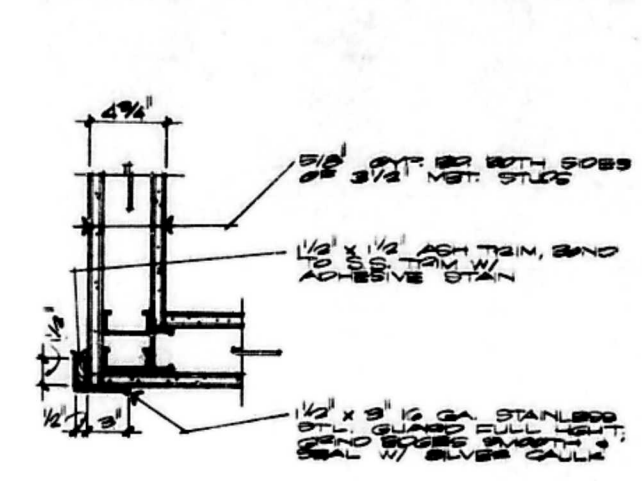
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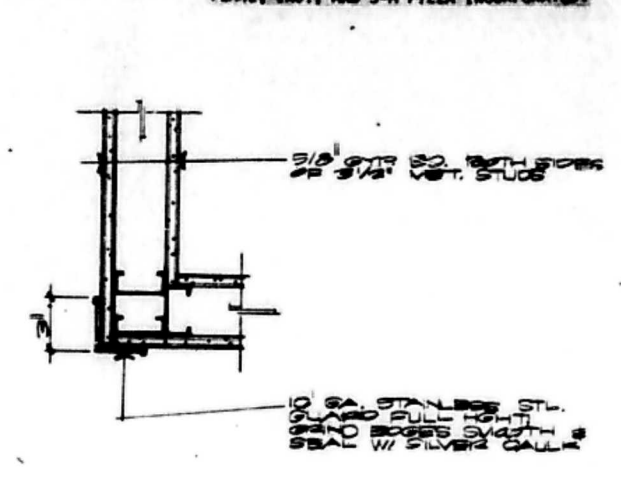
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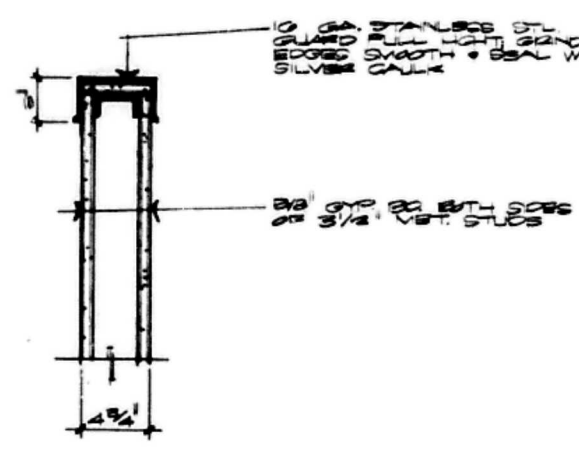
3 CORNER & ANGLED STEPS



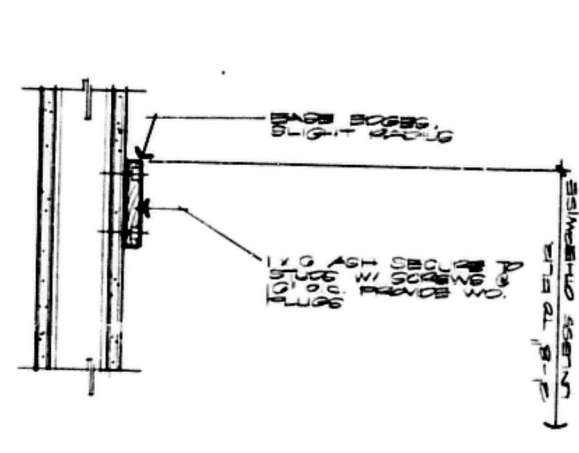
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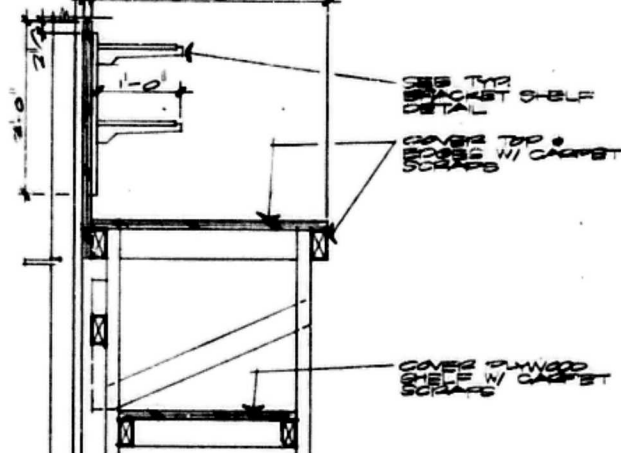
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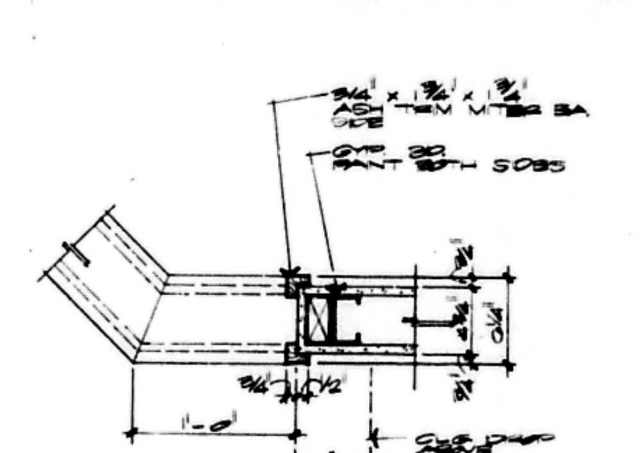
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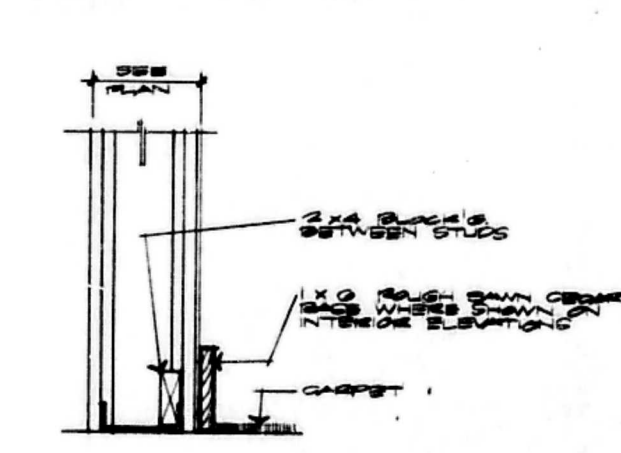
7 BUMP RAIL 1/2"



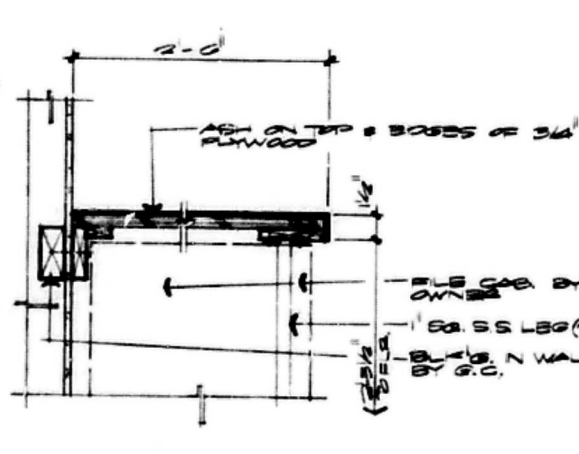
8 SECTION - WORK BENCH 3/4"



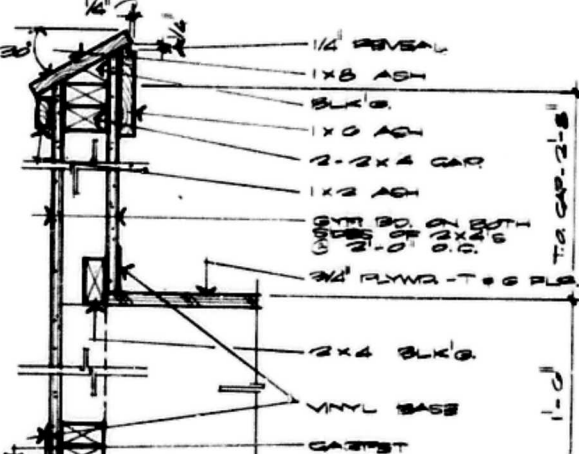
9 JAMB & SHOWROOM RAIL 1/2"



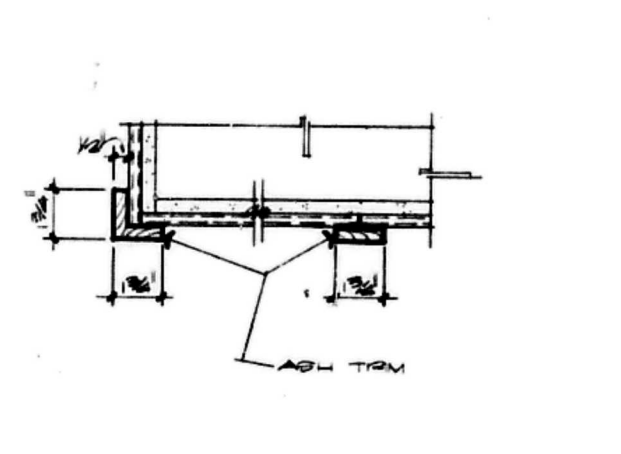
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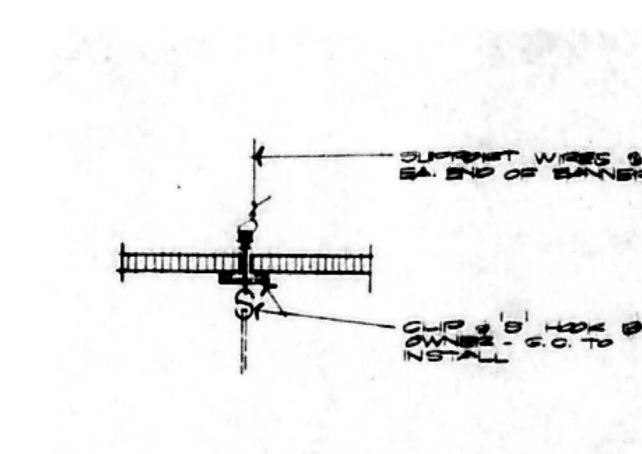
11 COUNTER @ OFFICE 1/2"



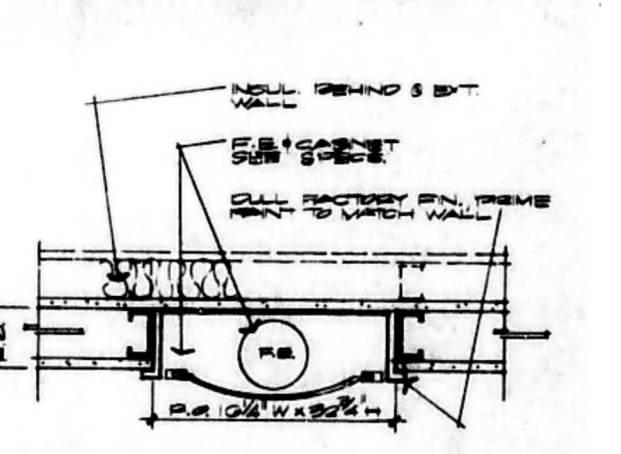
12 RAIL @ DINING 1/2"



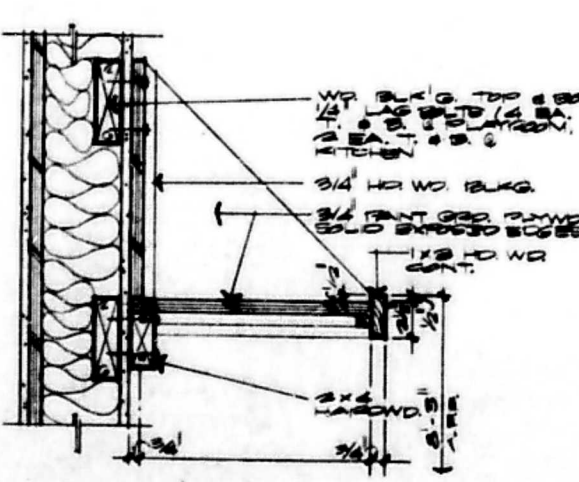
13 DINING RAIL TIE 3/4"



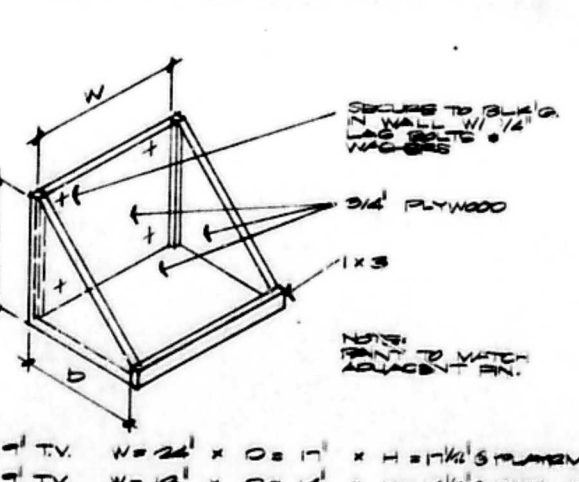
14 BANNER MOUNTING 3/4"



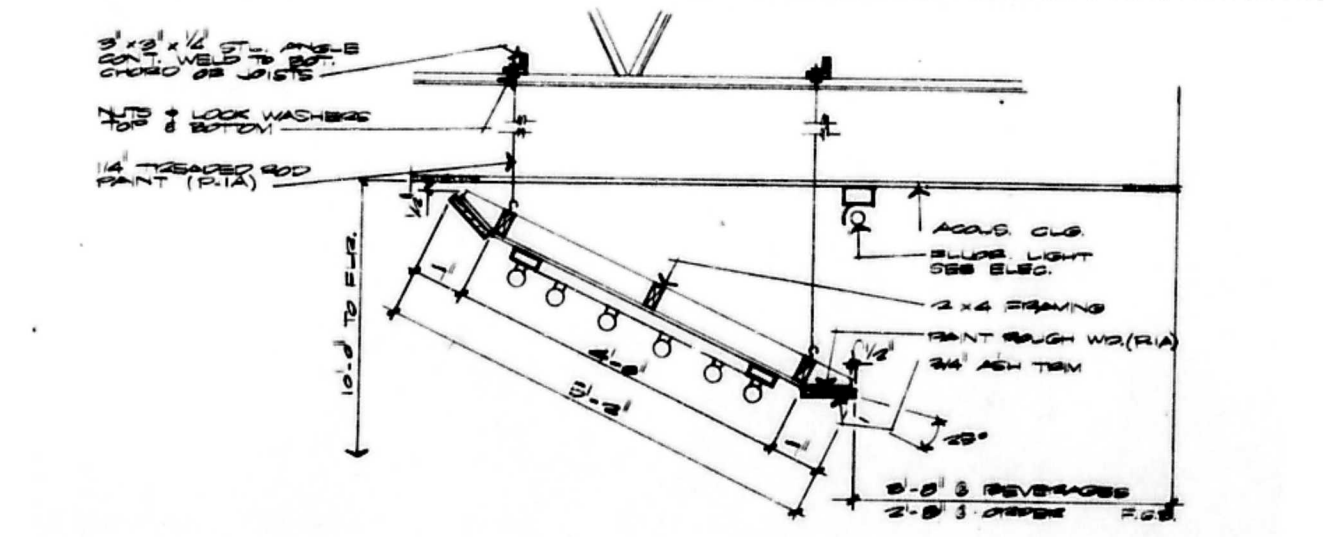
15 FIRE EXT. CABINET 1/2"



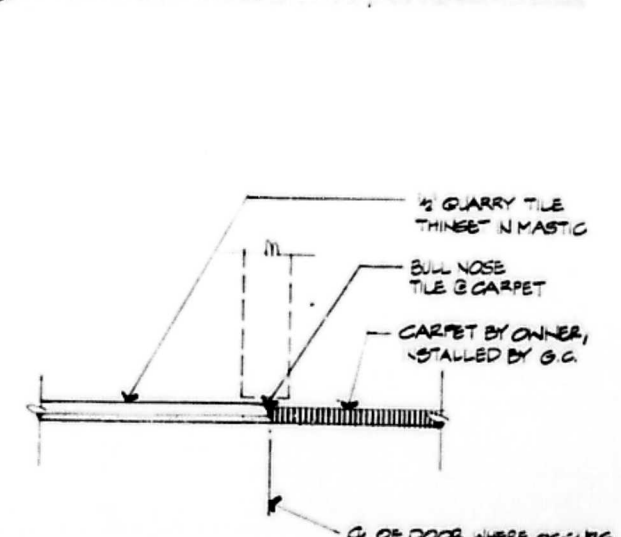
16 T.V. MONITOR SHELF 1/2"



17 T.V. MONITOR SHELF 3/4"



18 SECTION - SLANT LIGHT BOARD 3/4"



19 TILE CARPET TRANSITION N.T.S.

1

2

3

4

5

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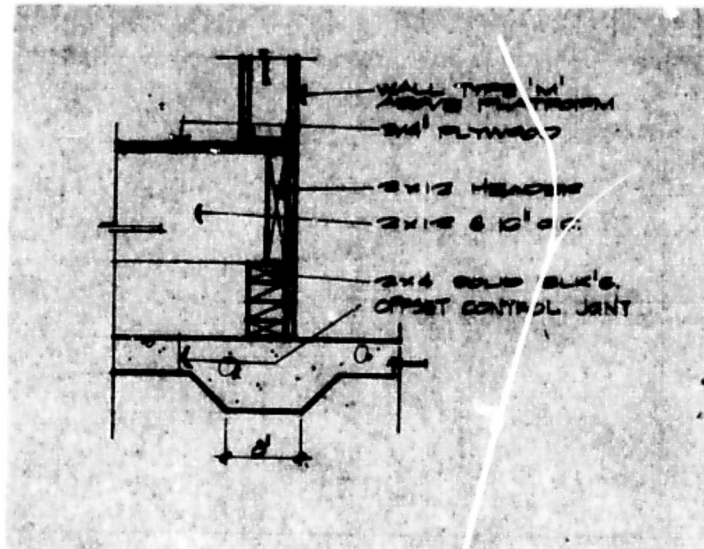
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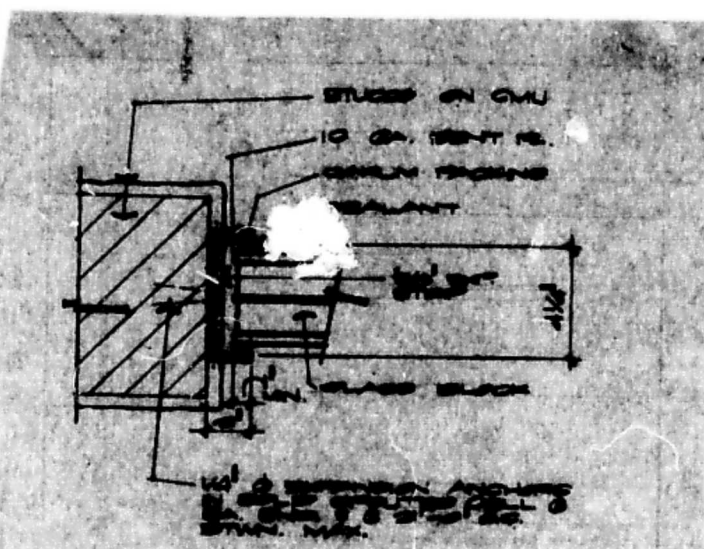
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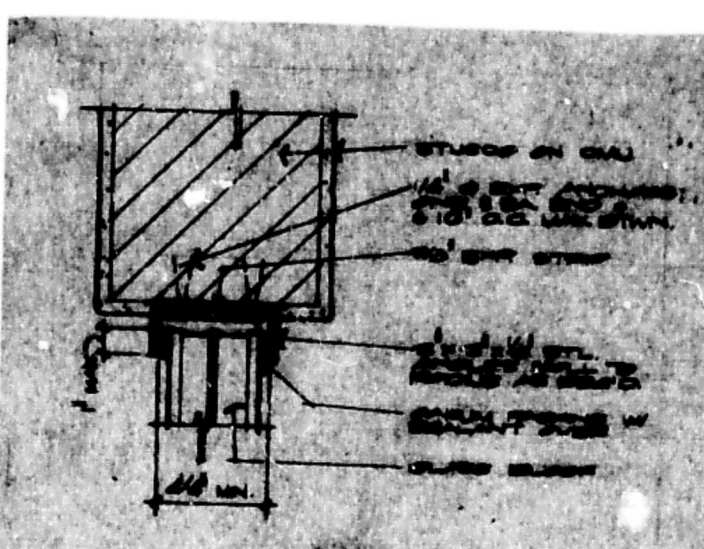
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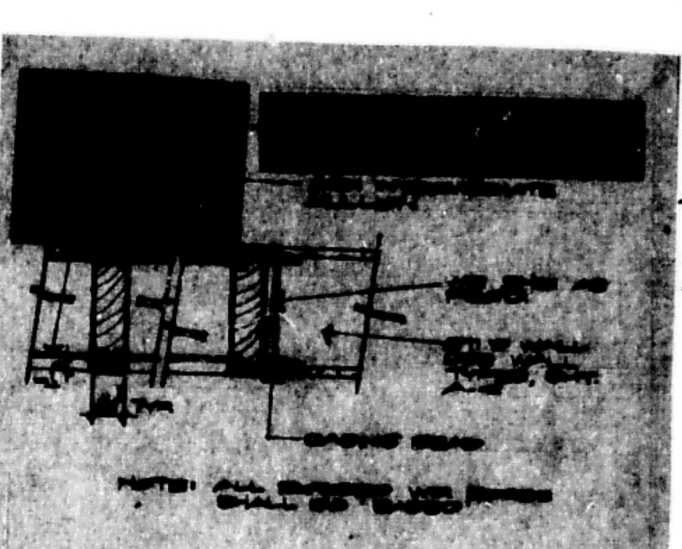
THICKENED SLAB



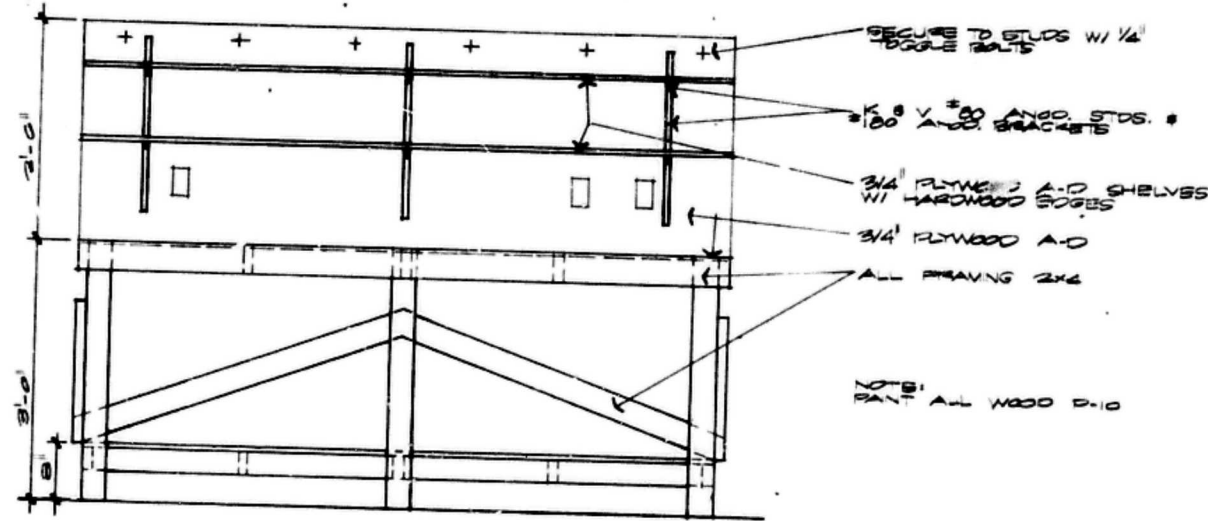
JAMB & GLASS BLOCK



HEAD & GLASS BLOCK



JAMB & EXPANDED LIGHT



ELEV. WORKBENCH & TECH. RM.

DATE:

JOB NO.:

PROJECT MGR:

DRAWINGS BY:

REVIEWED BY:

REVISION DATES

UNBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE

SHOWBIZ PIZZA PLACE

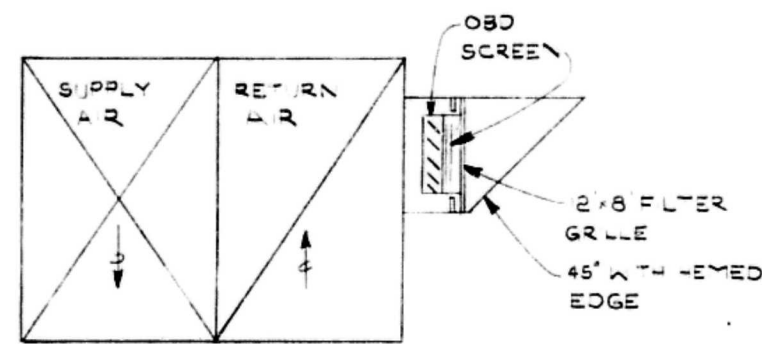
856 S. ALMA SCHOOL RD.

S-M PIZZA INC. STORE NO. 2

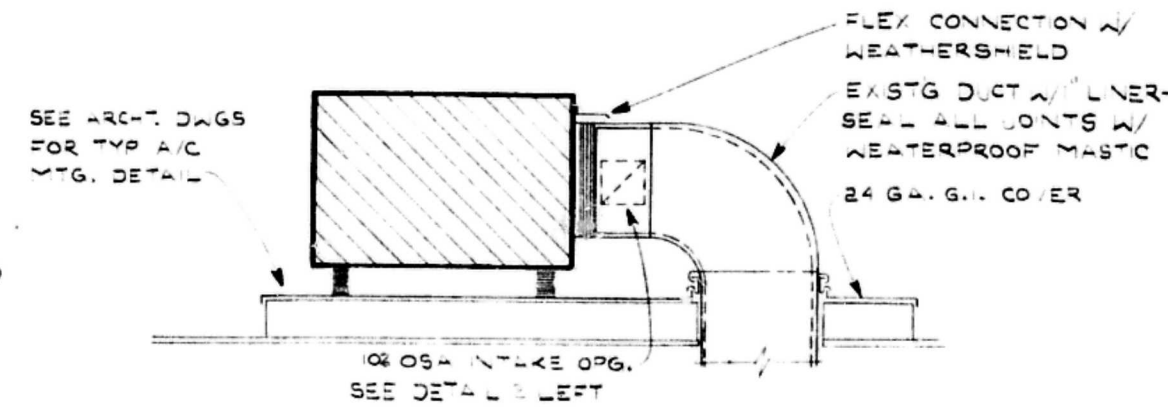
2990 E. NORTHERN AVENUE - SUITE 100C

PHOENIX, ARIZONA

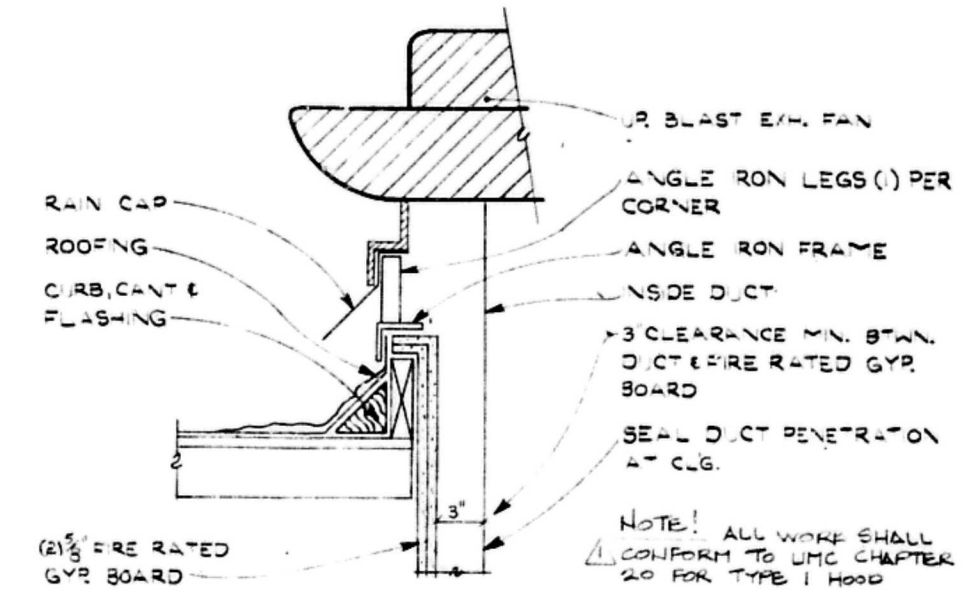
815 EAST CAMELBACK ROAD SUITE 205 PHOENIX, ARIZONA 85014 (602) 261-2617



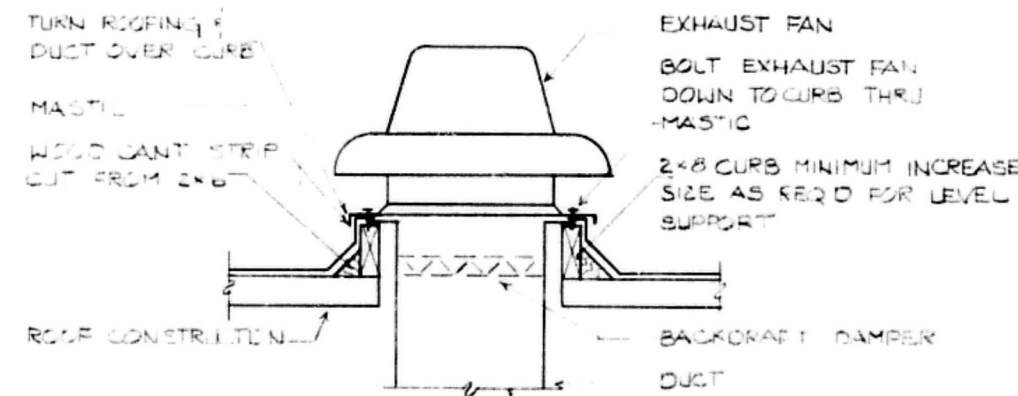
OSA INTAKE DETAIL
NTS



AC MOUNTING DETAIL
NTS



KITCHEN EXH. FAN #2 DETAIL
NTS



ROOF MTD. EXH. FAN #1,3 DETAIL
NTS

EQUIPMENT SCHEDULE	
A/C SYSTEM - ROOF TOP PACKAGE ELECT. COOL. & HTR. / CARRIER	
A/C #8 - 2 1/2 TON - NOM 1000 CFM @ .25" SP / 20.0 MBH	
SENS. @ 80°/63°/115° / 13.5 RLA COMP. / 1.3 RLA	
ODF / 2.4 RLA IDF & 7 1/2 KW HTR. @ 200 V 3φ /	
#50YH030 / 850 lbs.	
A/C #1-7,9,10 - 5 TON - NOM 2000 CFM @ .4" SP / 42.0	
MBH SENS. @ 80°/63°/115° / 22.0 RLA COMP. / 3.2 RLA	
ODF / 4.9 RLA IDF & 7 1/2 KW HTR. @ 208 V 3φ /	
#50BH006 / 500 lbs.	
EF #1 - ROOF MTD. CENTRIF. / BELT DRIVE / 835 CFM @ .25" SP /	
1/3 HP @ 120 V 1φ / COOK #13UC110	
EF #2 - ROOF MTD. CENTRIF. UP BLAST / BELT DRIVE / 1089	
CFM @ .375" SP / 1/4 HP @ 120 V 1φ / COOK #12UR170	
EF #3 - ROOF MTD. CENTRIF. / BELT DRIVE / 1596 CFM @ .25" SP /	
1/4 HP @ 120 V 1φ / COOK #15UC110	
EF #4 - CLUG. MTD. CENTRIF. / 300 CFM @ .125" / 2.3 AMP MTR.	
@ 120 V 1φ / BROAD #363 W/ 4x10 DISCH. THRU ROOF TO CAP	

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SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 100
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE

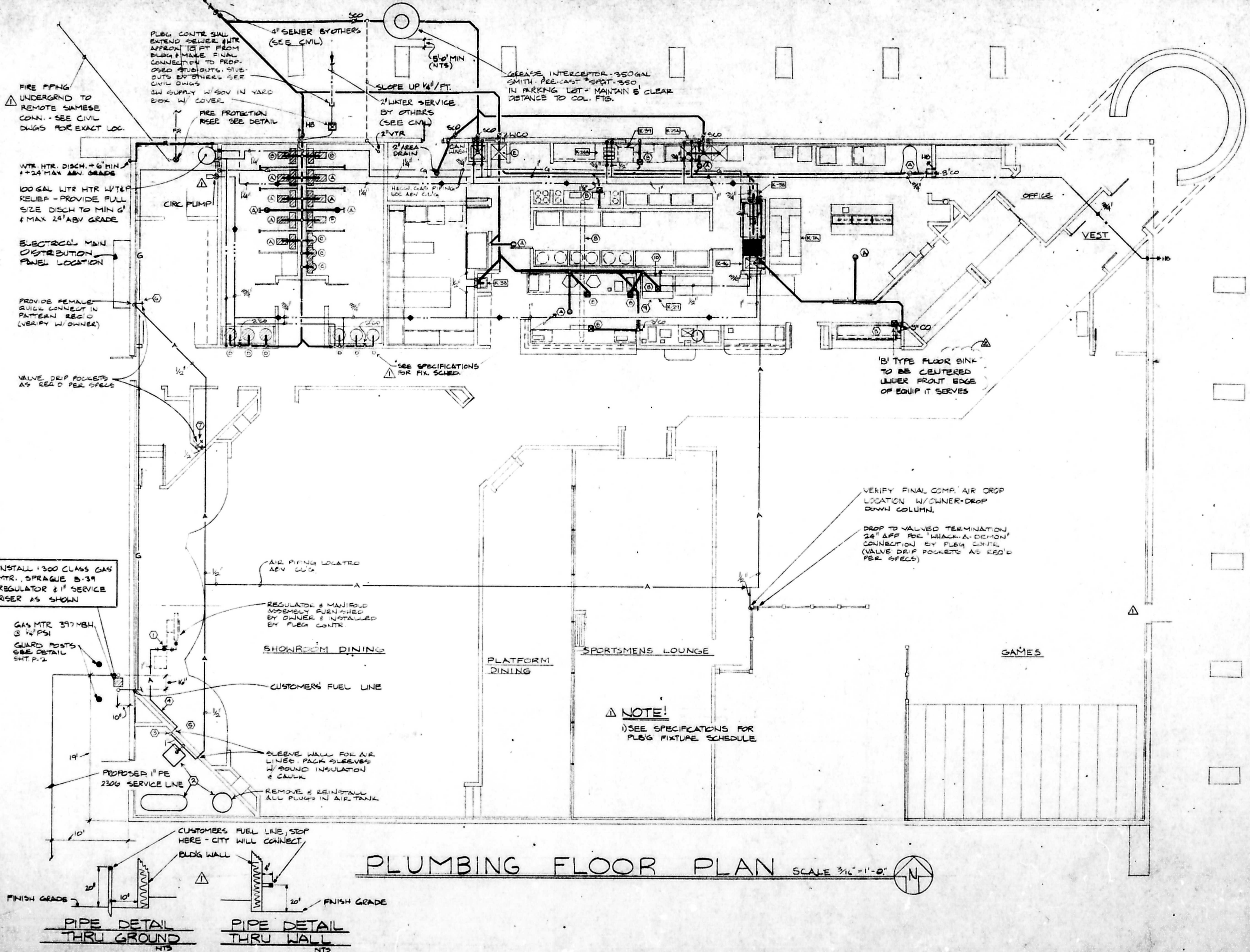
DATE: 0-7-53
JOB NO.
PROJECT MGR: TAF
DRAWN BY: MCH
REVIEWED BY: TAF

REVISION DATES

1-5-53

PHOENIX, ARIZONA 85014 (602) 961-2907

M-2



PLUMBING FLOOR PLAN SCALE 3/16" = 1'-0"

SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 100
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE - LANDSCAPE ARCHITECTURE

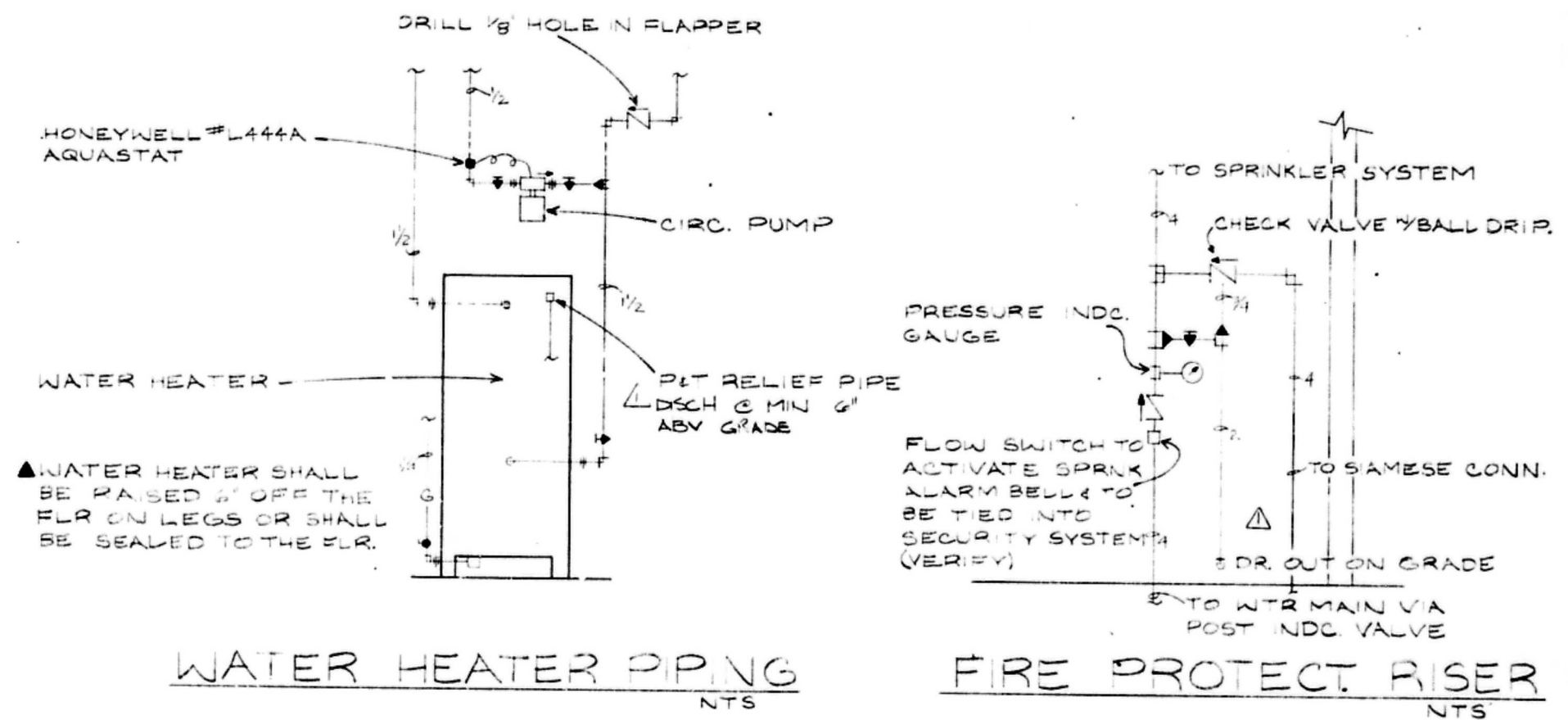
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JOB NO.:
PROJECT MGR.:
DRAWINGS BY: TJS
REVIEWED BY: JAE

REVISION DATES

1	11-15-83
2	2-17-83

PHOENIX, ARIZONA 85014 (602) 961-2917

P-1



WATER HEATER PIPING
NTS

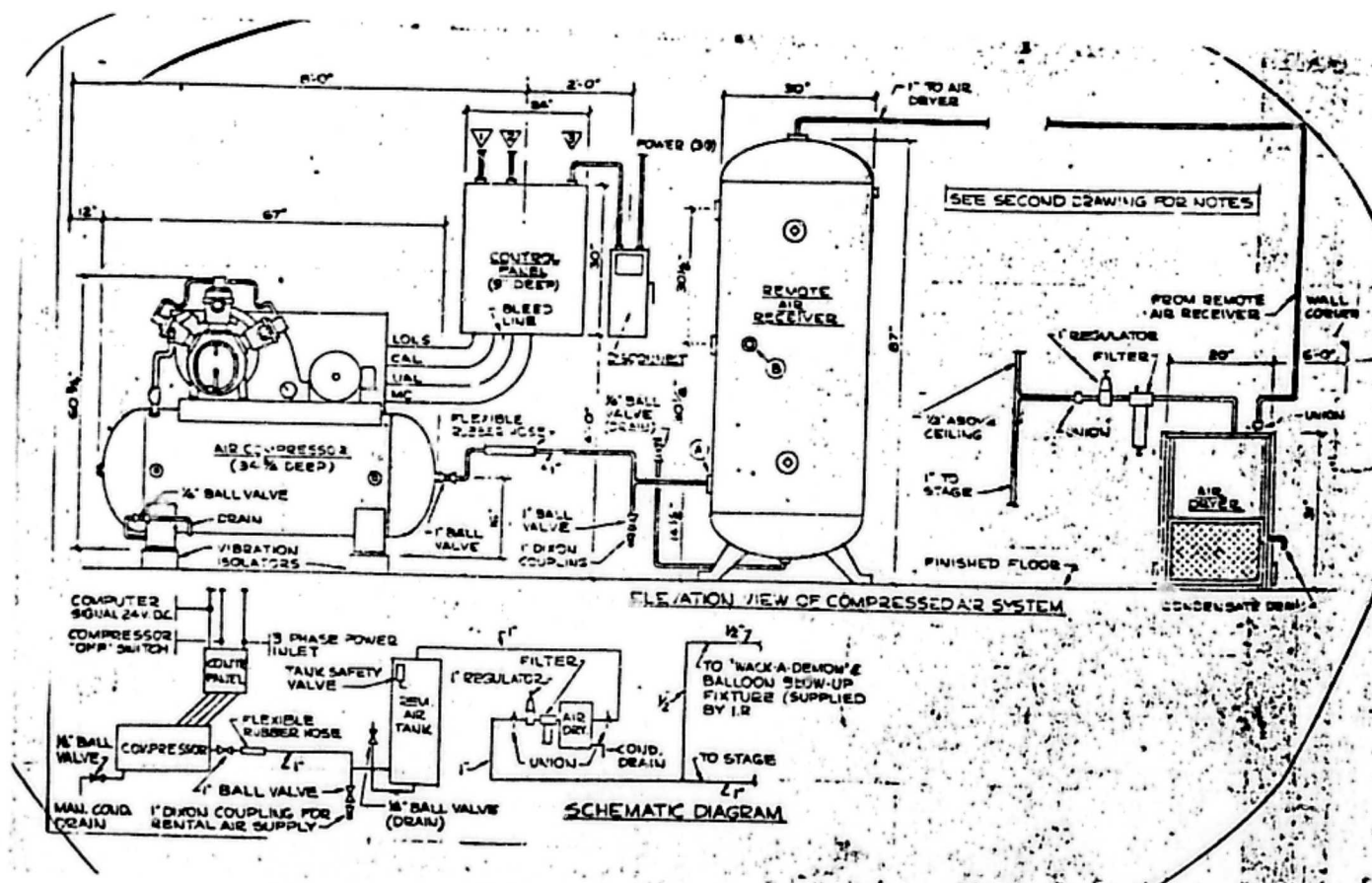
FIRE PROTECT. RISER
NTS

GENERAL NOTES!

- 1) SUPPORT ALL OVERHEAD SYSTEMS FROM ROOF STRUC. DO NOT ATTACH TO CEILING.
- 2) MAINTAIN MANU. RECOMMENDED CLEARANCES ON ALL ITEMS OF EQUIPMENT.
- 3) VERIFY SERVICE POINTS & METERING LOCATIONS WITH SERVING UTILITIES FOR PROJECT NAT. GAS, DOMESTIC WATER, FIRE PROTECTION WATER & SANITARY SEWER.
- 4) MOUNT ALL HOSE BIBBS 2'-0\"/>

NOTES!

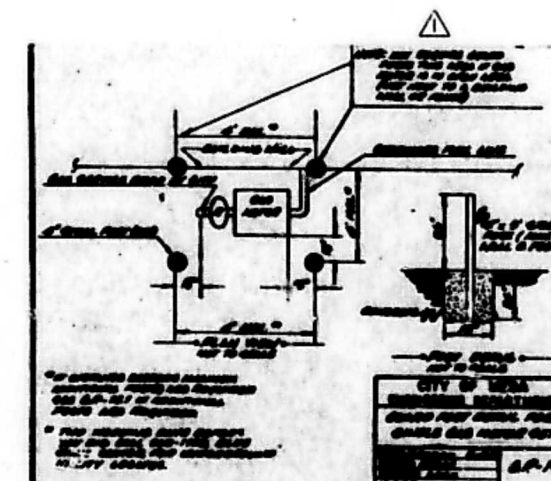
- 1) PROVIDE 1\"/>

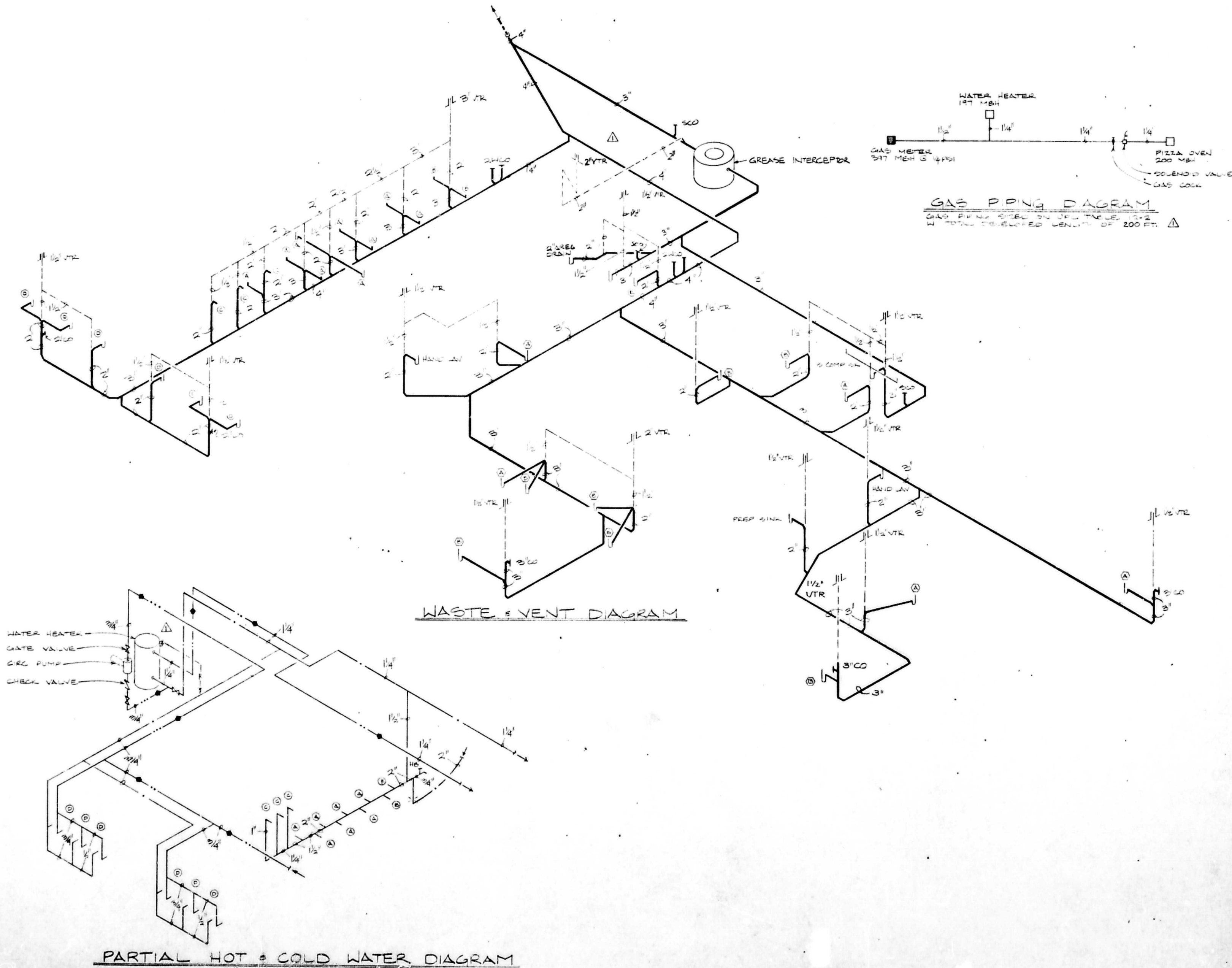


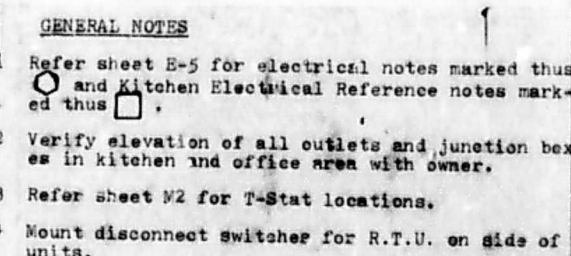
AIR COMPRESSOR DIAG
NTS

GAS SERVICE GENERAL NOTES:

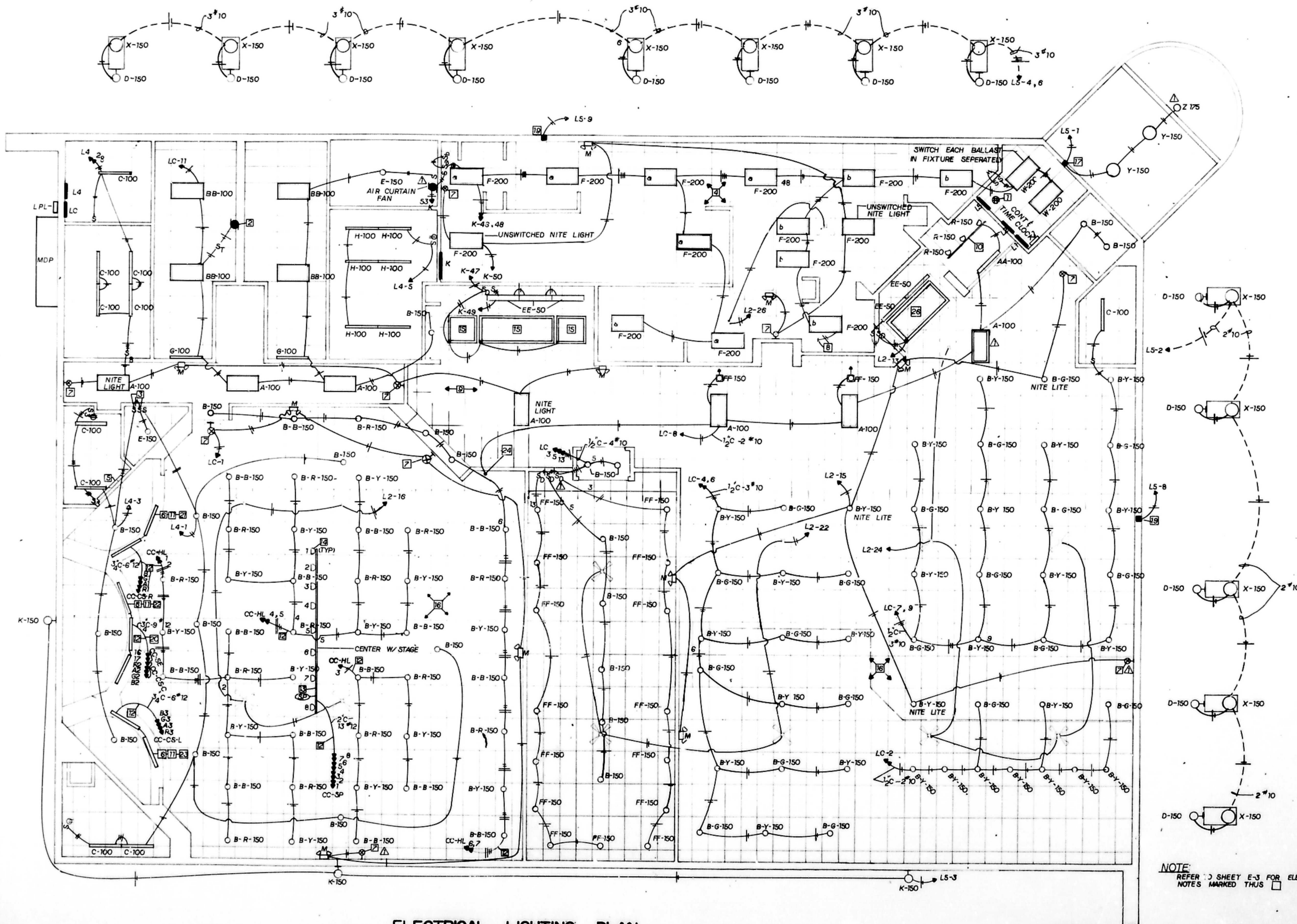
1. The owner, developer, or contractor shall locate and mark all privately owned underground structures that will conflict with proposed gas system facilities. The City of Mesa shall not be responsible for damage to underground structures that are not located and marked correctly.
2. The owner, developer or plumbing contractor shall contact Bob Carter of the City of Mesa Utility Operations Department at 834-3449, prior to any installation of the customer's gas piping at the gas meter location.
3. The owner, developer or contractor shall install guard posts as per G.P.-14 Detail.







ELECTRICAL FLOOR PLAN



ELECTRICAL LIGHTING PLAN
SCALE 3/16" = 1'-0"



SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2000 E. NORTHERN AVENUE - SUITE 100
PHOENIX, ARIZONA

UMBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE
REVISION DATES
Δ 11-14-83
JOB NO. _____
PROJECT MGR. _____
DRAWING BY: RSW
REVIEWED BY: _____

E-2

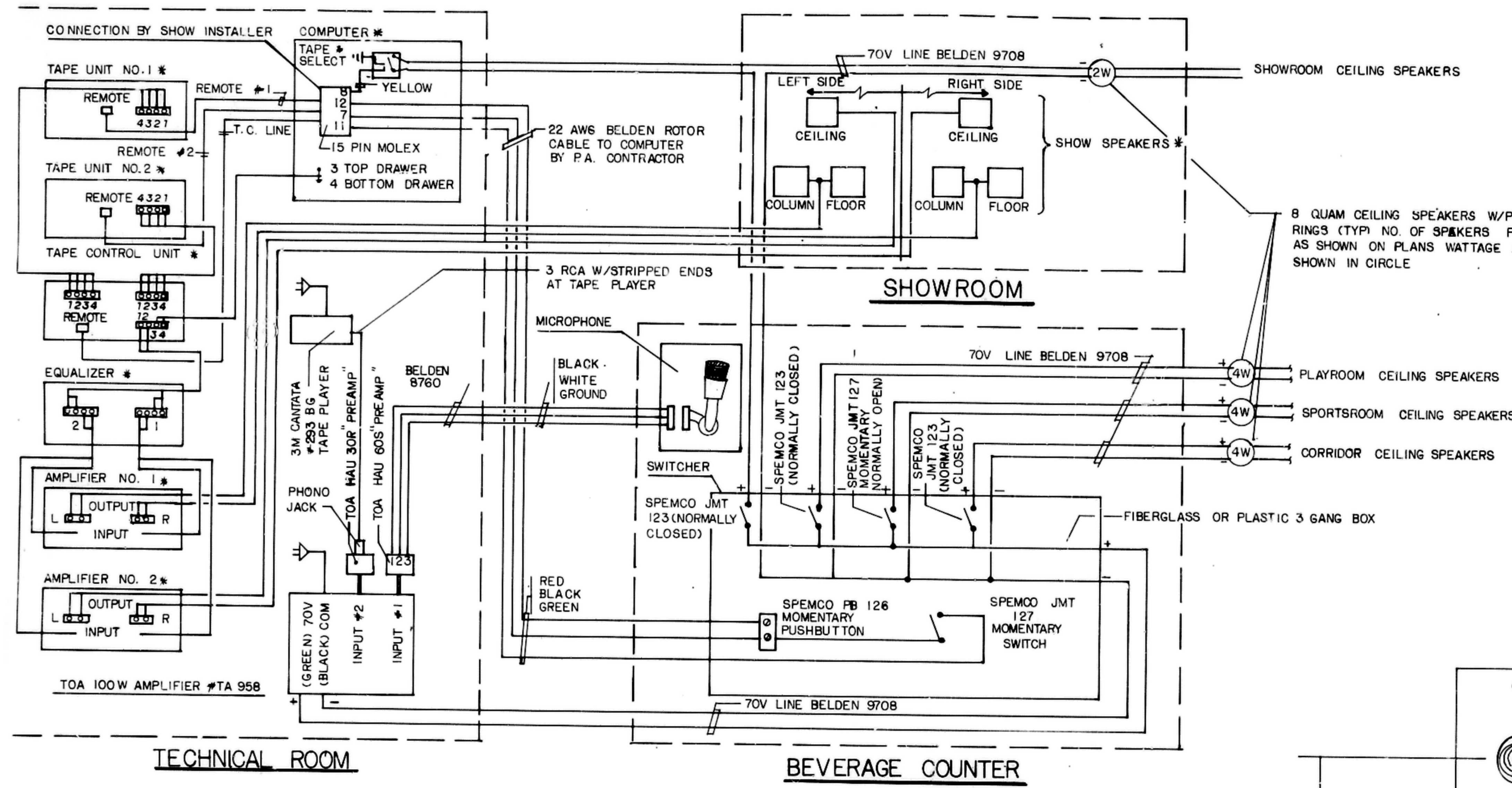
PHOENIX, ARIZONA 85014 (602) 264-2667

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SHOWBIZ PIZZA PLACE

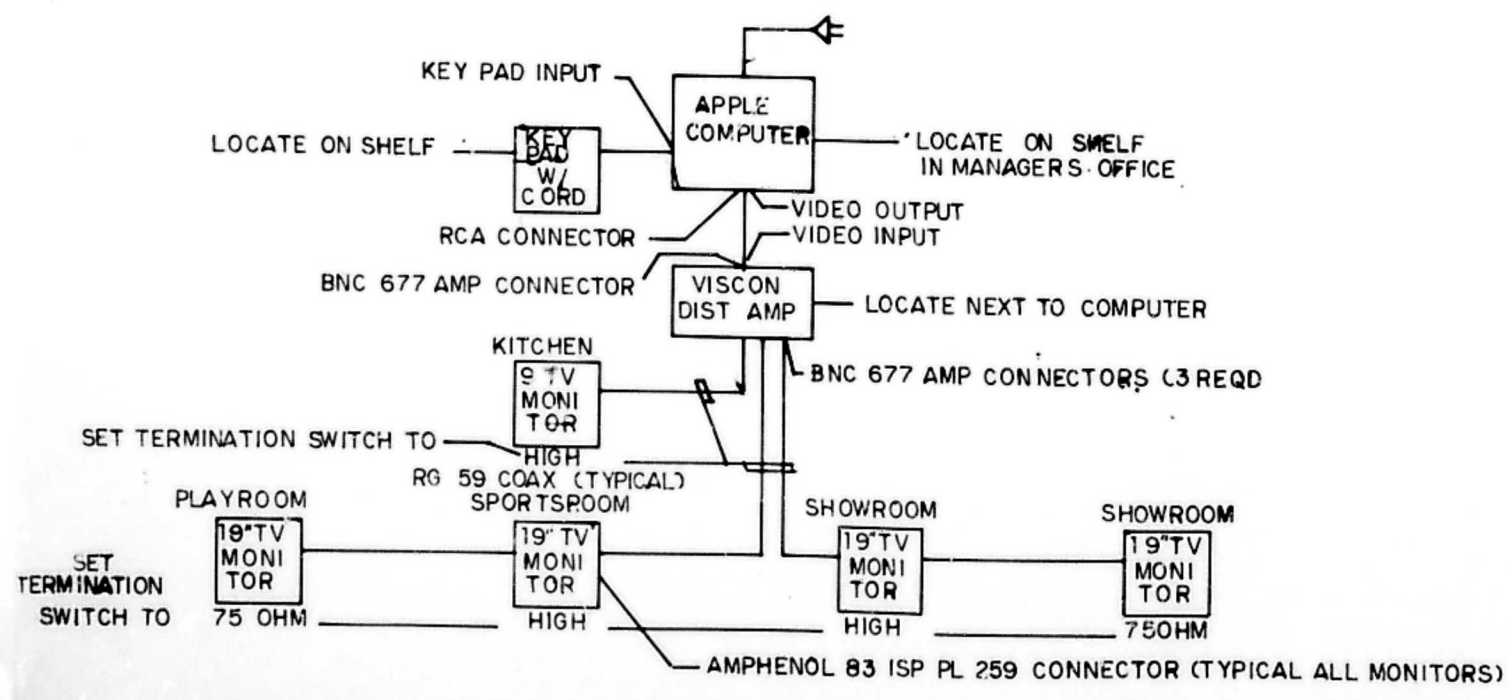
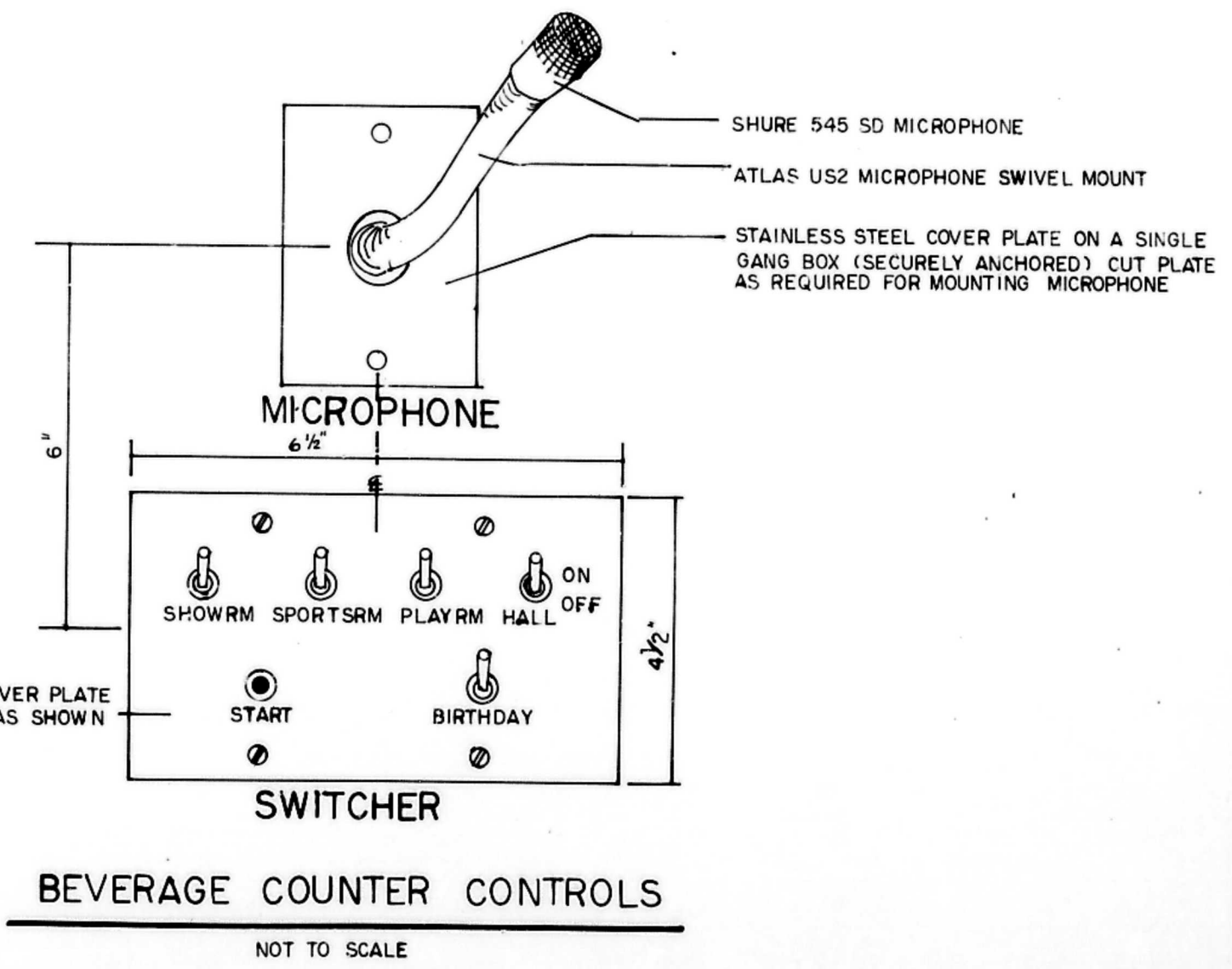
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE • SUITE 10C
PHOENIX, ARIZONA

DATE: _____
JOB NO: _____
PROJECT MGR: _____
DRAWINGS BY: RSW
REVIEWED BY: _____
REVISION DATES: _____
UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE • 815 EAST CAMELBACK ROAD SUITE 305 PHOENIX, ARIZONA 85014 • (602) 361-3917



* FURNISHED BY S.P.P. OWNER & SHOW SUPPLIER & INSTALLED BY S.P.P. INC

P.A. ADDRESS / AUDIO SYSTEM DIAGRAM
NOT TO SCALE



PICK-UP SYSTEM DIAGRAM
NOT TO SCALE



1. Duplex grounding receptacle for computer room connection--install 12" above stage platform.
2. TV Monitor Station: Furnish and install flush grounding duplex receptacle for TV power and adjacent blanked 1-G switchbox for TV cabling. Run 3/4" with RG59U (Note 23) from switchbox as noted. Set receptacle and switchbox in recess by General Contractor or above shelf provided for TV monitor.
3. World No. 1-5 white, vandalproof hand dryer--30 seconds/2300 watts/120 volts.--furnished by owner, installed by this contractor.
4. Not Used.
5. 3/4" Conduit with pull-wire to telephone terminal board.
6. Verify all floor outlet locations with Owner before installation.
7. Exhaust Fan #3.
8. Extend 2 conductor curtain motor circuit to ACB in Panel L3 for switching control by Owner.
9. Duplex grounding outlet for animated character computer--circuit from phase "A".
10. Duplex grounding outlet for animated character audio system--circuit from phase "B"--not phase "A".
11. RAF 100-B Control Panel with panel L3. Refer sheet E6 for details.
12. Flush telephone outlet--44" AFF.
13. Animated character computer and audio.
14. Locate under counter in back wall of cabinet 54" AFF and beside box 22.
15. 4' x 4' x 3/4" plywood telephone service backboard. Provide raceway to service point in compliance with utility requirements.
16. Exhaust Fan #2.
17. 1/2 HP, 120V, single phase air drier.
18. 20 HP, 208V, 3 phase air compressor for animated characters.
19. Low oil level switch wiring (120V) - 1/2" 2 #12 (connect to control panel terminals 7 and 8).
20. GFI receptacle in cast box with gasketed spring cover. Install on rooftop unit.
21. 1/2" Conduit with RG59U Coax to TV J-Box in Technical Room. Leave 72" slack at terminations.
22. 12" x 12" x 6" square, flush and blanked TV monitor JB set with centerline 54" AFF and beside receptacle 14.
23. 3/4" with RG59U Coax. Leave 12" slack at terminations this contract.
24. Furnish and install three wall-mounted flush and blanked junction boxes with one 3-gang cover plate for audio set with center-line 60" AFF. Run 1" x 3" nipple out top of box to single-gang blanked switch box provided for microphone installation. Extend 1" conduit out of top of this box up to 4-11/16" square box located above ceiling. Run 1/2" audio conduits with pull wires out of this box to Games room, Sports room, corridor, Showroom and Computer room as indicated on drawings E1 and E4.
25. Blanked 4" octagon box above ceiling for speaker connection. Speaker connection by Owner.
26. Furnish and install 1/2" EMT with pull-wire to audio JB Mark 24 for audio cabling by Owner. Install minimum 6' of 1/2" flexible conduit at connection to speaker JB.
27. Furnish and install 1/2" EMT with pull-wire for audio cabling by Owner. Install minimum 6' of 1/2" flexible conduit at connection to Speaker JB.
28. Furnish and install 3/4" EMT with pull-wire to audio JB Mark 24 for audio input and output cabling by Owner.
29. Furnish and install single-gang switch box 5'-0" center-line AFF for audio cabling.
30. Furnish and install Realoc No. PPL-3-E3-S-PWF/PPL2043 power pole finished in simulated wood grain and black trim and with adjustable foot. Assembly shall include adjustable top T-bar assembly and two 20A duplex grounding receptacles on separate circuits. Extend three No. 12 conductors through 1/2" flexible conduit attached to the top knockout, to supply connection in a blanked JB installed above ceiling system. Provide minimum flex length of 72".
31. Provide accessible and fused Edwards No. 592 outlet box mounting, 24 volt, 20 watt, signal transformer in ceiling cavity. Interconnect with two push-buttons and two signals to place system in full operation. Provide 120 volt supply.
32. Extend 1" rigid conduit up to weatherhead termination for cable TV. Install TV weatherhead 36" minimum above roof line. Provide Pate pipe curb assembly for raceway.
33. Single receptacle in flush ceiling box. (2 thus). Verify location with owner. Refer sheet E7 for details.
34. Typical installation of two single receptacles in common flush box (CCTS 1 and 2). Refer sheet E7 for details.
35. Not Used.
36. Compressed air system control panel furnished by Owner--installed this contract.
37. Splice-in permanent wiring connection to heat lamp holders.
38. Install sealing condulets in all conduits entering cooler box (per NEC).
39. Remote air compressor "ON-OFF" switch. Engrave plate "AIR COMPRESSOR".
40. Berko Model FFR-1520-A, 208V/1 phase, 1.5 KW fan-forced wall heater with integral thermostat and surface mounting box.
41. Locate receptacle on wall centerline.
42. Blanked 4" octagon box above ceiling. Furnish and install 1/2" EMT with pull-wire from JB to speaker enclosure at front of platform for audio cabling by Owner. Install 6' of 1/2" flexible conduit at connection to speaker JB.
43. Run 1" EMT to 4" square TV JB.
44. 1" PVC with pull-wire to property line for cable TV service. (See site plan).
45. 1/2", 4 #12 from air compressor control panel terminals 1 and 2 to computer room switch Mark 39.

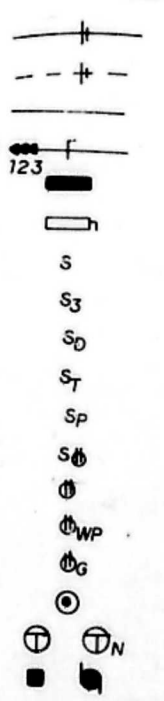
46. 1/2" 2 #12 (24V) to JB in computer room adjacent to air room control panel. Connect 2 #12 to terminals 5 and 6 in control panel 36.
47. Furnish and install audio JB 12" AFF. Extend 1/2" EMT with pull-wire to speaker JB's as indicated and three-gang box Mark 24.
48. Not Used.
49. Not Used.
50. 1". 3 #4XHHW to control panel terminals L1, L2, and L3.
51. 1-1/4" sealite furnished by Owner and installed by Electrical Contractor with 3 #4XHHW and #4 green-wire ground (compressor power).
52. Center stage pre-wired receptacle raceway "SE-C" with junction box and twelve pre-wired duplex receptacles. This assembly will be installed by Electrical Contractor (see Drawing E6). Run 3/4" EMT with fourteen No. 12 AWG THHN from center junction box to "CC-EF" as follows:
- | | |
|--------------------|--------------------|
| Circuit 1 - Black | Circuit 11 - Red |
| Circuit 2 - Red | Circuit 12 - White |
| Circuit 3 - Blue | Circuit 13 - White |
| Circuit 4 - Black | Circuit 14 - White |
| Circuit 5 - Red | Circuit 15 - White |
| Circuit 6 - Blue | Circuit 16 - White |
| Circuit 7 - Black | Circuit 17 - White |
| Circuit 8 - Red | Circuit 18 - White |
| Circuit 9 - Blue | Circuit 19 - White |
| Circuit 10 - Black | Circuit 20 - Green |
| | Circuit 21 - Green |
53. Stage left pre-wired receptacle raceway "SE-L" with four pre-wired duplex receptacles. This assembly will be installed by Electrical Contractor (see Drawing E6). Run 1/2" EMT with seven No. 12 AWG THHN from "SE-L" to "CC-SE" as follows:
- | | |
|--------------------|--------------------|
| Circuit 12 - Black | Circuit 13 - White |
| Circuit 14 - Red | Circuit 15 - White |
| Circuit 16 - Blue | Circuit 17 - White |
| Circuit 18 - Black | Circuit 19 - Green |
| Circuit 20 - Black | Circuit 21 - Green |
54. Not Used.
55. Provide a 30A - 120 volt Twist-Lok receptacle in head style floor box (Hubbel S-6088 or equal). Provide 6" of SJ-2 #10 shop cord with 30A, 120 volt Twist-Lok plug (for use with receptacle in floor) on one end and a Woodhead receptacle box, complete with 30A, 120 volt duplex receptacle outlet in box, on the other end of cord.
56. This piece of equipment will require hard-wired connection.
57. Provide outlet to match plug on this piece of equipment. Verify voltage and amp rating required for outlet.

KITCHEN ELECTRICAL REFERENCE NOTES

- A Undercounter Refrigerator, provide electrical connections at two elevations. (See Arch. details).
- B 3 - #10 in 1/2" Conduit (includes green wire ground.)
- C 2 - #10 in 1/2" Conduit to 30 amp 1-pole breaker.
- D Clean circuit for "Point of Sales" system. Provide with separate green wire ground, 3 - #10 in 1/2" Conduit to 30A, 1-pole breaker in panel L2. Run green wire ground to building service ground.
- E Refer to kitchen equipment drawings for equipment identification. Kitchen equipment will be provided by Kitchen Equipment Supplier. Electrical Contractor shall make all required electrical connections. Electrical contractor shall provide junction boxes, connecting devices and other accessories as required. Verify all dimensions with Kitchen Equipment Supplier before roughing-in.
- F Cooler lights, cooler blower, and door heaters.
- G 3/4 HP, 120 volt, single phase rooftop exhaust (see Mech. plans).
- H Locate exhaust controller as directed.
- J Remote air-cooled condenser for ice cuber K-29.
- K Grounding single receptacle for "Point of Sales" system.
- L Grounding single receptacle for printer on shelf.
- M Provide 4" square flush and blanked junction box for "Point of Sales" system cabling. Mount adjacent to receptacle. Run 1/2" EMT up and through ceiling as indicated.
- N 1/2" EMT with Belden #8444, 4 conductor stranded cable. Cable to be run continuous, without any splices, from junction box to junction box leaving 3'-0" loop at each J-Box.
- P 4-Plex Outlet; clean circuit for "Point of Sales" system CPU with separate green wire ground run to building service ground.

ELECTRICAL SYMBOLS LIST

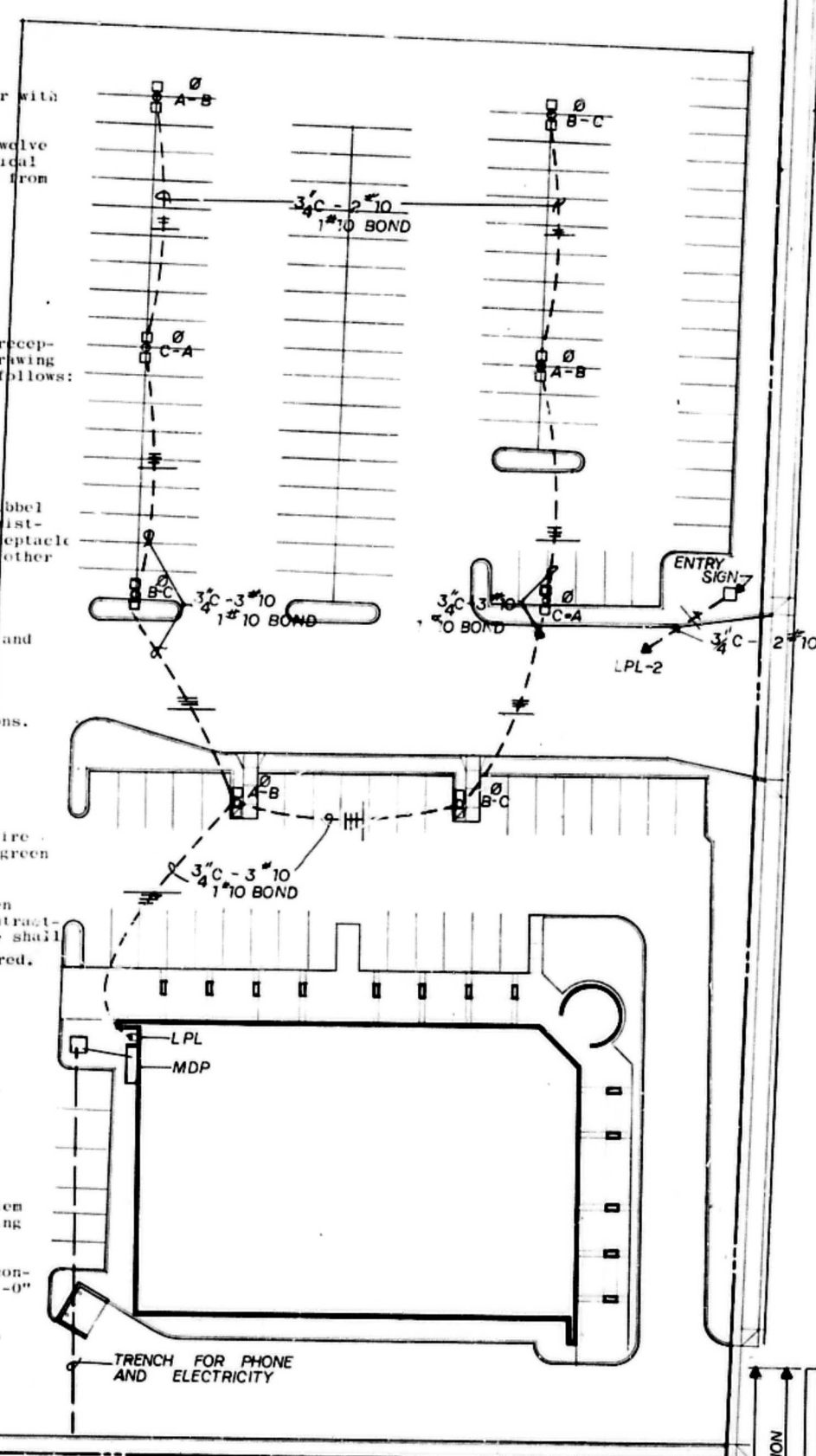
- 2- #12 in 1/2" Conduit above Floor
- 2- #12 in 1/2" Conduit below Floor
- Home-run to Panel L1, Ckts. #1, 2, & 3
- Separate Green Wire Ground
- Panelboard
- Safety Switch
- SPST Switch
- 3-Way Switch
- Dimmer Switch
- Switch w/Thermal overload protection
- Switch w/Pilot light
- Switch w/Receptacle in 2 gang box
- Grounding Duplex Receptacle
- Weatherproof Receptacle
- Game Recept. Duplex Grounding type
- Floor Receptacle
- Thermostat, Night-stat
- Junction Box, Motor



SITE LIGHTING PLAN

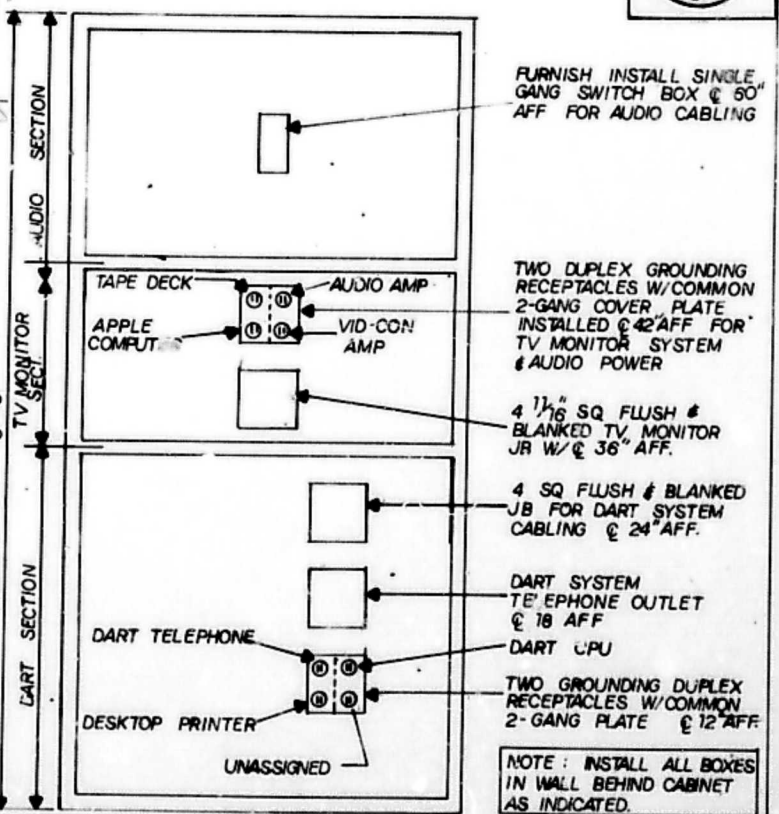
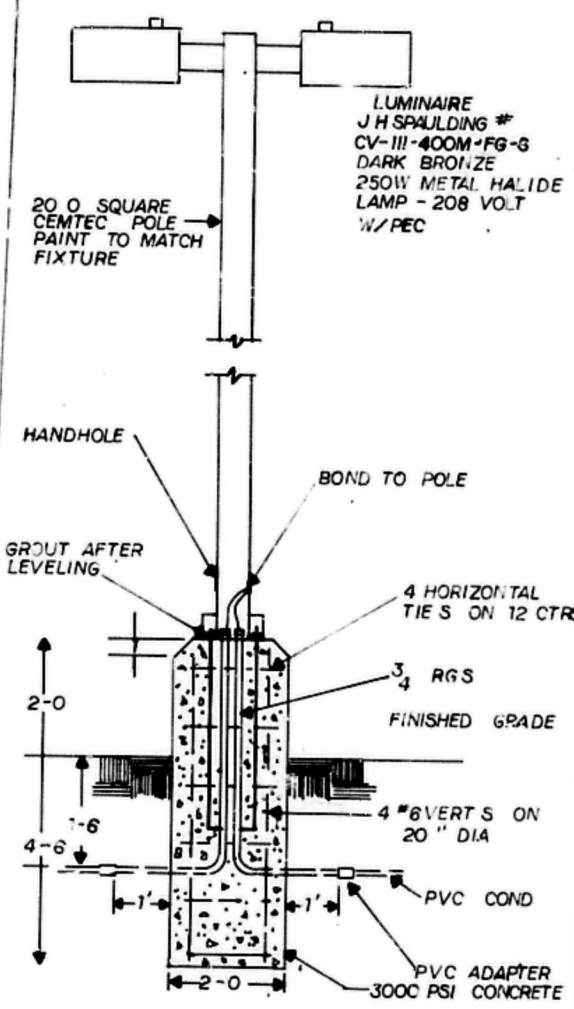
SCALE: 1" = 30'-0"

- Telephone Outlet
- Motor Starter or Contactor
- Push Button
- Buzzer #1
- Buzzer #2
- Kitchen Equipment item indicator
- Speaker
- Recessed 2 x 4 Fluorescent
- Surface Mounted Fluorescent
- Exit Light ceiling, wall mounted w/battery pack
- Emergency Light w/battery pack
- P.E. Cell
- Pole Mounted Parking Lot Light (Cut off type)
- Recessed Wall Washer
- Ceiling, Wall Mounted Incandescent



LIGHT POLE DETAIL

NO SCALE



ELECTRONICS CABINET

SCALE: NONE



DATE: 11-14-83

JOB NO.:

PROJECT MGR.:

DRAWINGS BY:

REVIEWED BY:

REVISION DATES

SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.

S-M PIZZA INC. STORE NO. 2

2650 E. NORTHERN AVENUE - SUITE 10C

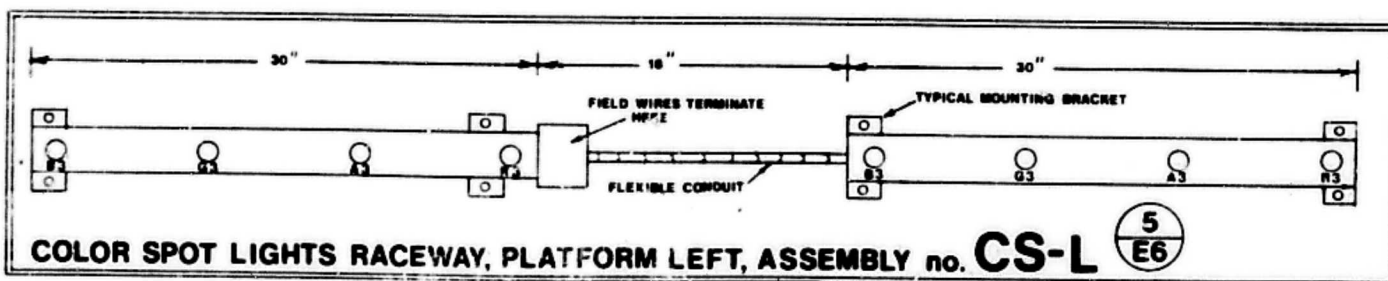
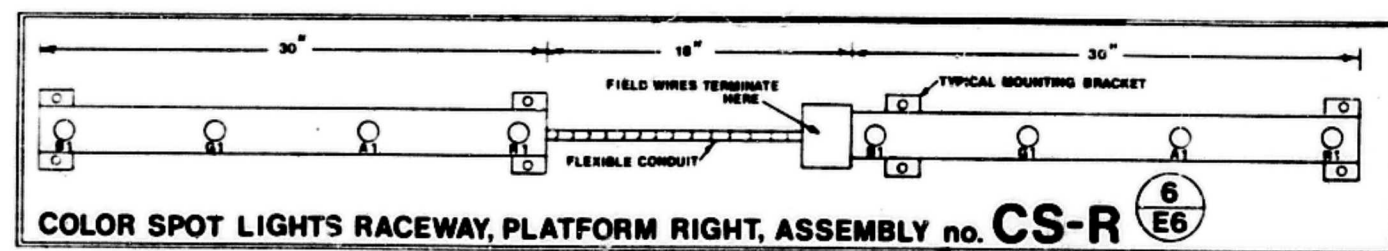
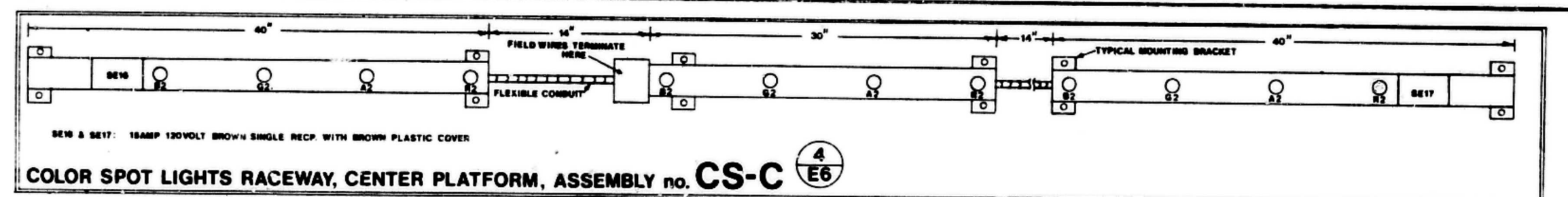
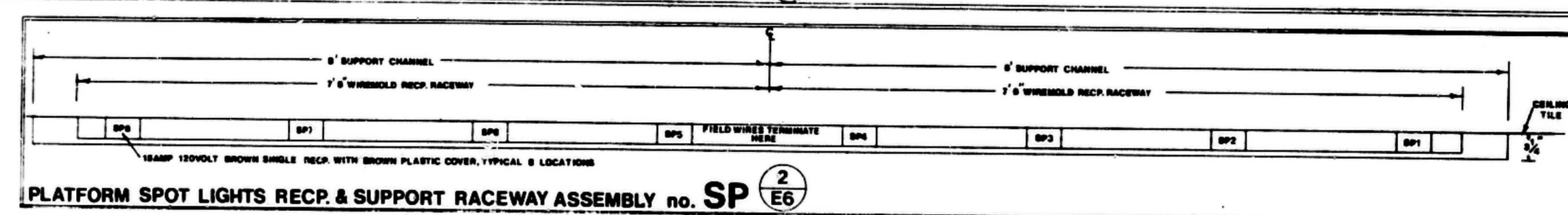
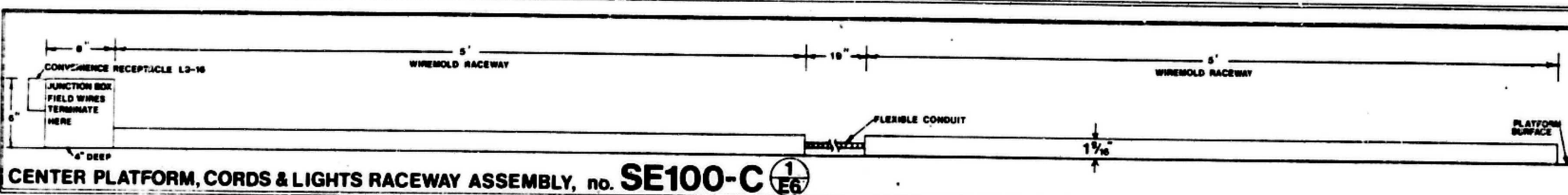
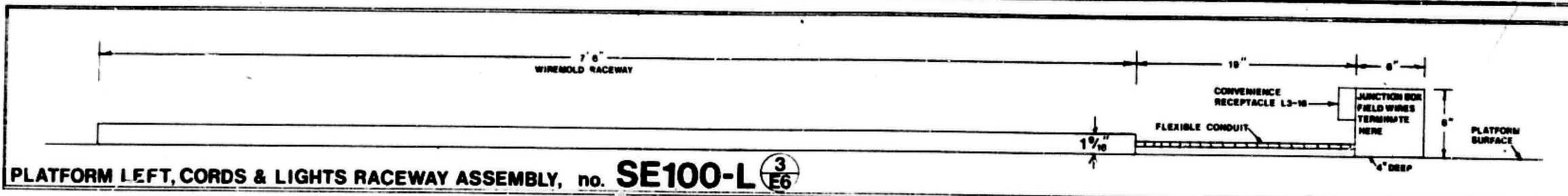
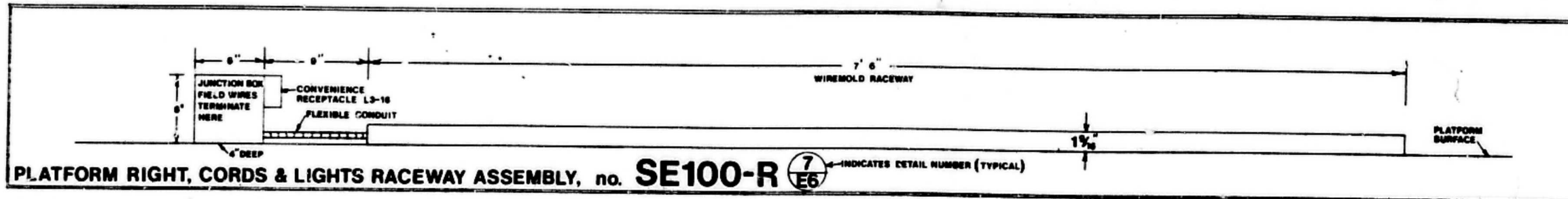
PHOENIX, ARIZONA

UNBERGER ASSOCIATES

LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE

815 EAST CAMELBACK ROAD SUITE 305 PHOENIX, ARIZONA 85014 (602) 264-2617

E-5



B- BLUE COLOR LAMP
G- GREEN COLOR LAMP
A- AMBER COLOR LAMP
R- RED COLOR LAMP

THE EQUIPMENT ON THIS SHEET IS PURCHASED DIRECTLY BY THE OWNER FROM:
A/C CONTROLS MFG. CO., INC.
1400 SPRUCE
KANSAS CITY, MISSOURI 64127
913 231 0400
MR. GREG BERRY

FURNISHED TO THE ELECTRICAL CONTRACTOR FOR INSTALLATION, AS NOTED.
ALL PRICES PREPAID

PANEL L3

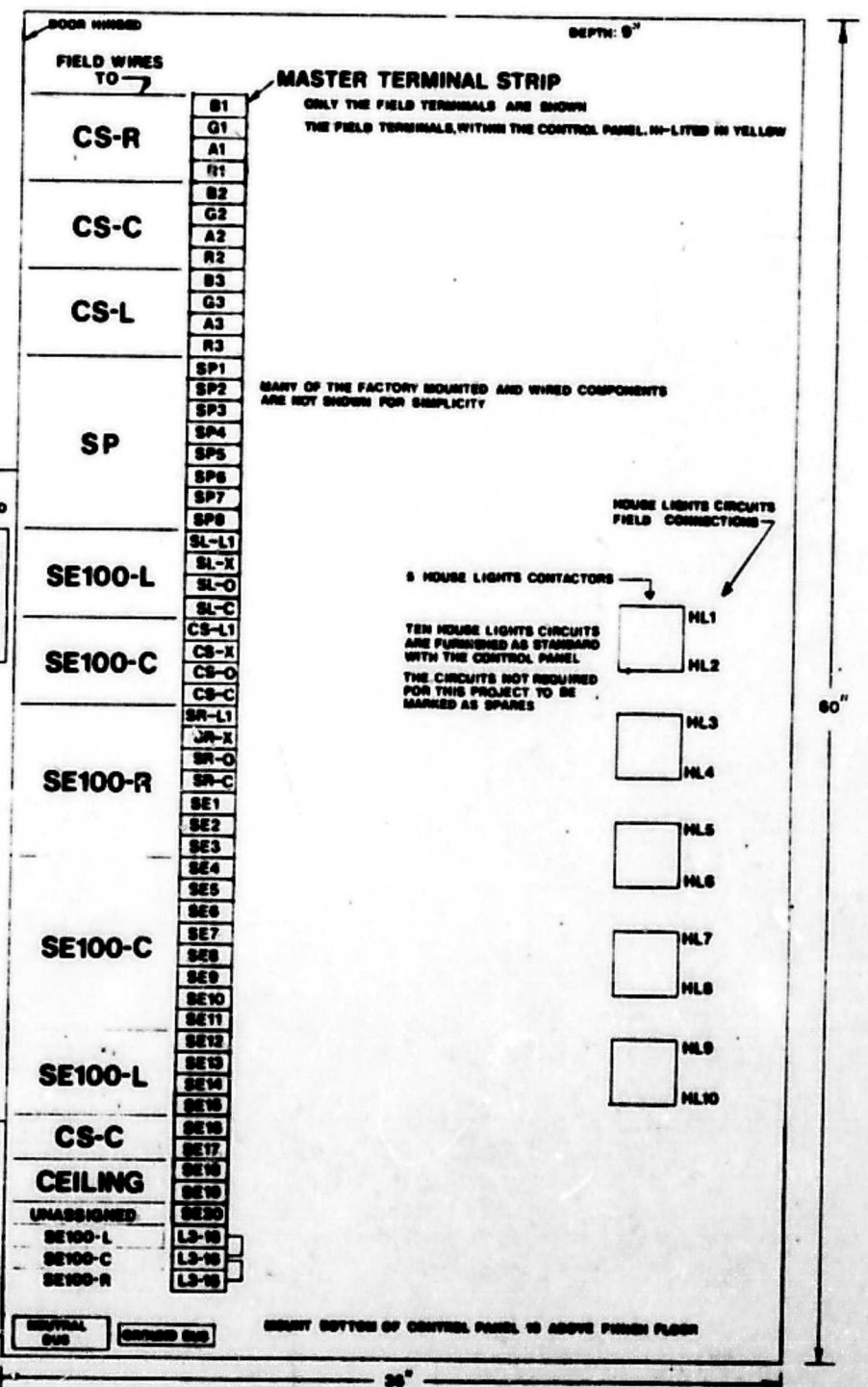
LOAD SERVED	POLE	AMP	CIRCUIT NO.	AMP	POLE	LOAD SERVED
COMPUTER RECEPTACLE	1	20	1	20	1	DINING ROOM EMERGENCY LIGHTS
AUDIO RACK RECEPTACLE	1	20	2	20	1	B1, G1, A1, R1
CURTAIN CONTROL - PLATFORM LEFT	1	20	3	20	1	CURTAIN CONTROL, CENTER PLATFORM
HOUSE LIGHTS #1 (HL1)	1	15	4	15	1	HOUSE LIGHTS #2 (HL2)
SE1, SE2, SE3, SE4, SE5	1	15	5	15	1	CURTAIN CONTROL, PLATFORM RIGHT
SP1	1	15	6	15	1	SP2
HOUSE LIGHTS #3 (HL3)	1	15	7	15	1	HOUSE LIGHTS #4 (HL4)
CONVENIENCE RECEPTACLE, CONTR.	1	20	8	20	1	PLATFORM RECP., LEFT, CTR., RIGHT
SP3	1	15	9	15	1	SP4
HOUSE LIGHTS #5 (HL5)	1	15	10	15	1	HOUSE LIGHTS #6 (HL6)
DINING ROOM MONITOR RECP'S (2)	1	20	11	20	1	SE6, SE7
CONTROL ROOM LIGHTS	1	20	12	20	1	WORK LIGHTS, PLATFORMS
HOUSE LIGHTS #7 (HL7)	1	15	13	15	1	HOUSE LIGHTS #8 (HL8)
SE8, SE9	1	15	14	15	1	SE10, SE11, SE12
SP5	1	15	15	15	1	SP6
HOUSE LIGHTS #9 (HL9)	1	15	16	15	1	HOUSE LIGHTS #10 (HL10)
SE13, SE14, SE15	1	15	17	15	1	SE16, SE17, SE18
SP7	1	15	18	15	1	SP8
FUTURE	1	20	19	20	1	FUTURE
B2, G2, A2, R2	1	15	20	15	1	B3, G3, A3, R3
SE19, SE20	1	15	21	15	1	CONTROL CTR., HL CONTACTORS

NOTE: TOTAL LOAD CONNECTED = 80.75 AMPS

THE SEVEN(7) RACEWAYS ASSEMBLIES SHOWN TO THE LEFT ARE COMPLETELY PREWIRED AND ASSEMBLED EXACTLY AS DRAWN, INCLUDING THE FLEXIBLE CONDUIT, JUNCTION BOXES, RECEPTACLES WITH COVERS, WIREMOLD RACEWAY, B-LINE CHANNEL, AND ALL WIRING WITHIN THE ASSEMBLY.

ALL WIRES FOR FIELD CONNECTIONS ARE CONTAINED WITHIN THE JUNCTION BOX OF EACH ASSEMBLY. EACH WIRE IS MARKED WITH A PERMANENT NUMBER IDENTIFICATION TAG TO MATCH THE MARKINGS CALLED FOR BY "SCHEDULE A" ON DRAWING E7.

THE SE100-L, SE100-C, AND SE100-R COME WITH A GROUP OF CORDS AND LIGHTS THAT ARE FACTORY MOUNTED AND WIRED TO THE WIREMOLD RACEWAY. IT IS THE RESPONSIBILITY OF THE SHOWBIZ PIZZA PLACE "SHOW INSTALLATION TEAM" TO POSITION THESE LIGHTS ON THE PLATFORM FLOORS.

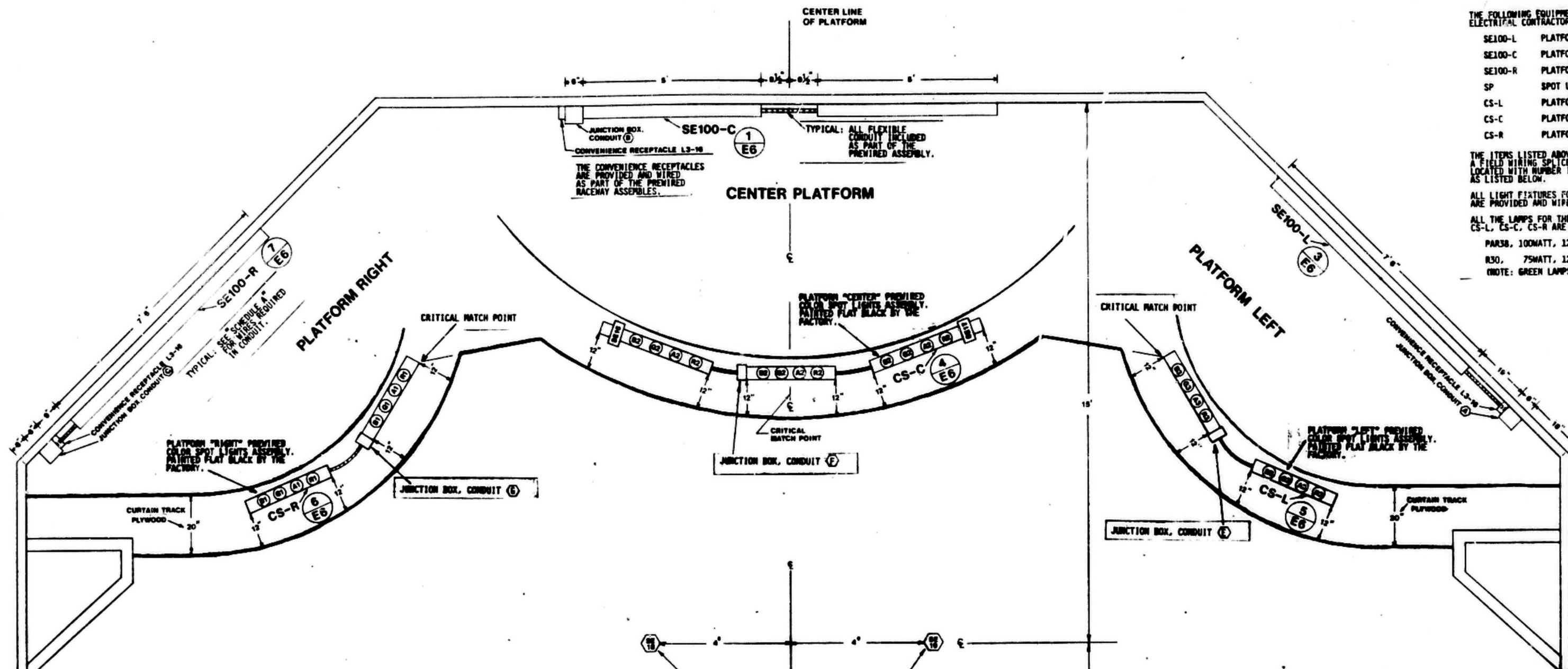


SHOWBIZ PIZZA PLACE
856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE - SUITE 10C
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-RE-LANDSCAPE ARCHITECTURE
815 EAST CAMELBACK ROAD SUITE 205 PHOENIX, ARIZONA 85014 (602) 264-4567

DATE: 11/11/88
JOB NO. 88-001
PROJECT MGR. J. M. BERRY
DESIGNED BY J. M. BERRY
CHECKED BY J. M. BERRY
REVISION DATES

E-6



THE FOLLOWING EQUIPMENT IS FURNISHED BY THE OWNER TO THE ELECTRICAL CONTRACTOR FOR INSTALLATION:

- SE100-L PLATFORM LEFT "SE" RACEWAY ASSEMBLY.
- SE100-C PLATFORM CENTER "SE" RACEWAY ASSEMBLY.
- SE100-R PLATFORM RIGHT "SE" RACEWAY ASSEMBLY.
- SP SPOT LIGHTS RECEPTACLE RACEWAY ASSEMBLY.
- CS-L PLATFORM LEFT COLOR SPOT LIGHTS ASSEMBLY.
- CS-C PLATFORM CENTER COLOR SPOT LIGHTS ASSEMBLY.
- CS-R PLATFORM RIGHT COLOR SPOT LIGHTS ASSEMBLY.

THE ITEMS LISTED ABOVE ARE COMPLETELY PREWIRED, EACH HAVING A FIELD WIRING SPICE LOCATION IN WHICH ALL FACTORY WIRES ARE LOCATED WITH NUMBER IDENTIFICATION TAGS TO MATCH THE SCHEDULE AS LISTED BELOW.

ALL LIGHT FIXTURES FOR THE PREWIRED COLOR SPOT LIGHTS ASSEMBLIES ARE PROVIDED AND WIRED BY THE FACTORY.

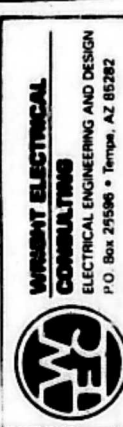
ALL THE LAMPS FOR THE PREWIRED COLOR SPOT LIGHTS ASSEMBLIES CS-L, CS-C, CS-R ARE PROVIDED BY A/C CONTROLS #6, CO.

PAR38, 100WATT, 120VOLT, FOR BLUE, RED, AND GREEN.

R30, 75WATT, 120VOLT, FOR AMBER.

(NOTE: GREEN LAMPS NOT INSTALLED FOR THE CS-C ASSEMBLY)

RAF100-B CONTROL PANEL WITH PANELBOARD "L3" PREWIRED AND WIRED IS PROVIDED BY OWNER



ASSEMBLY MOUNTING POSITION

- SE100-L MOUNTS AT PLATFORM LEFT, AGAINST THE WALL
- SE100-C MOUNTS AT CENTER PLATFORM, AGAINST THE WALL
- SE100-R MOUNTS AT PLATFORM RIGHT, AGAINST THE WALL
- SP MOUNTS AT CEILING TILE IN DINING ROOM
- CS-L MOUNTS AT CEILING ABOVE PLATFORM LEFT
- CS-C MOUNTS AT CEILING ABOVE CENTER PLATFORM
- CS-R MOUNTS AT CEILING ABOVE PLATFORM RIGHT

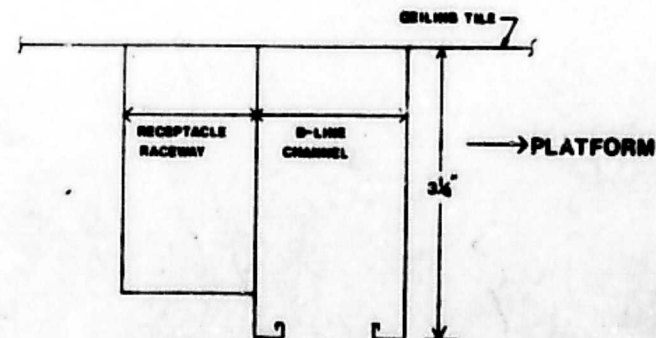
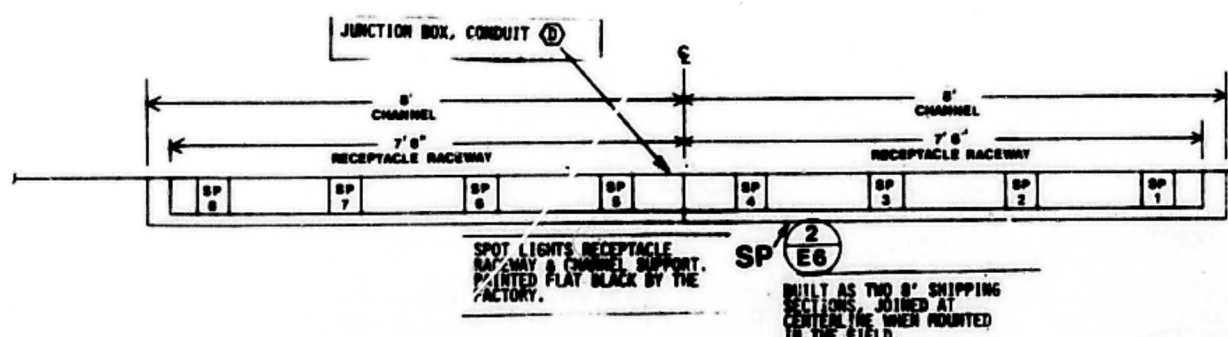
"80" 8" TAGON BOX MOUNTED FLUSH TO TW. CEILING TILE WITH A SINGLE 20AMP, 120VOLT, NEMA5-20R TYPE. BROWN RECEPTACLE, MOUNTED IN A "80" COVER. THE COVER IS TO BE PAINTED FLAT BLACK BY THE ELECTRICAL CONTRACTOR.

WIRES & CONDUIT NUMBERING TO THE RAF100-B CONTROL PANEL FROM THE PREWIRED ASSEMBLIES

SCHEDULE A

ASSEMBLY	CONDUIT	NO. OF WIRES	WIRE IDENTIFICATION AND TERMINAL POINT CONNECTION ON THE MASTER TERMINAL STRIP IN THE RAF100-B CONTROL PANEL OR PANELBOARD "L3"
SE100-L	(A)	13	SE12, SE13, SE14, SE15, L3-16, SL-L1, SL-X, SL-O, SL-C, 3-WHITE NEUTRALS, 1-GREEN GROUND
SE100-C	(B)	19	SE4, SE5, SE6, SE7, SE8, SE9, SE10, SE11, L3-16, CS-L1, CS-X, CS-O, CS-C, 5-WHITE NEUTRALS, 1-GREEN GROUND
SE100-R	(C)	12	SE1, SE2, SE3, L3-16, SR-L1, SR-X, SR-O, SR-C 3-WHITE NEUTRALS, 1-GREEN GROUND
SP	(D)	13	SP1, SP2, SP3, SP4, SP5, SP6, SP7, SP8, 4-WHITE NEUTRALS, 1-GREEN GND.
CS-L	(E)	6	B3, G3, A3, R3, 1-WHITE NEUTRAL, 1-GREEN GROUND
CS-C	(F)	10	B2, G2, A2, R2, SE16, SE17, 3-WHITE NEUTRALS, 1-GREEN GROUND
CS-R	(G)	6	B1, G1, A1, R1, 1-WHITE NEUTRAL, 1-GREEN GROUND
NONE	(H)	5	SE18, SE19, 2-WHITE NEUTRALS, 1-GREEN GROUND

NOTES: 1. ALL NEUTRAL WIRES TERMINATE TO THE NEUTRAL BUS BAR (WHITE)
2. ALL GROUND WIRES TERMINATE TO THE GROUND BUS BAR (GREEN)
3. ALL PHASE WIRES TO BE BLACK, RED, OR BLUE
4. ALL WIRES TO BE MINIMUM OF #12 THIN COPPER



END VIEW "SP" RACEWAY ASSEMBLY
RECEPTACLES FACE AWAY FROM THE PLATFORM

PROVIDED WITH THE "SP" RECEPTACLE RACEWAY ASSEMBLY

1. 16" 8-LINE CHANNEL, 48" L20A, PAINTED FLAT BLACK, SLOTTED SIDE.
2. PREWIRED RECEPTACLE RACEWAY, PAINTED FLAT BLACK
3. EIGHT (8) 8-LINE CHANNELS, 4-15 THIN COPPER
• 4-15 x 2" 8-LINE 5 BULBS
• 4" PLAT UNIONS
• 4" LOCK NUTS

PROVIDED FOR THE NUMBER OF THE SPOT LIGHT FIXTURES BY THE SPOT LIGHTING CONTRACTOR

SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2900 E. NORTHERN AVENUE - SUITE 100
PHOENIX, ARIZONA

UNBERGER ASSOCIATES
LAND PLANNING-ARCHITECTURE-SCAPE ARCHITECTURE

DATE: _____
JOB NO: _____
PROJECT MGR: _____
DRAWINGS BY: _____
REVIEWED BY: _____

E-7

SECTION 0520

TREES, SHRUBS, AND GROUNDCOVER

PART 1 - GENERAL

Refer to Division 1 for General Requirements.

Work Specified Herein

This section describes the labor, materials and installation requirements necessary to complete the fine grading, incidental grading, planting and related items as indicated or specified.

Submittals

Inspection certificates by State, Federal and others indicating the origin and health of the plant material in duplicate.

Sample of decomposed granite for approval.

All plant material shall be reviewed by the Architect at the source of supply. Architect reserves the right to refuse any plant material he deems unacceptable.

Written guarantee warranting the plant material to be in healthy condition 60 days from the date of substantial completion and that material that is not shall be replaced at no cost to the owner within 30 days of written notice. Warrantee replacement planting shall be warranted for 60 days from the date of planting.

Delivery, Storage, and Handling

Each tree, shrub, groundcover flat, container of fertilizer, or other construction material shall be labeled by grower or manufacturer as separate items. Bulk deliveries of mulch, granite, topsoil, etc., shall be accompanied with two delivery tickets. One delivery ticket shall be provided to the Contractor.

Job Conditions

The Sub-Contractor shall receive the site with compacted grade at plus or minus one tenth (1/10) of a foot except as noted in Grading in this section. The planting areas will be free of waste or debris developed by other trades. Any discrepancy from such conditions shall be reported to the Contractor before beginning construction.

Grading

Sub-Contractor shall fine grade all planting areas.

Sub-Contractor shall provide incidental grading of all areas adjacent to curbs and sidewalks. Provide a final grade one and one half (1 1/2) inches below curbs or sidewalks. When sod or decomposed granite is being installed, the appropriate subgrade shall be graded prior to the installation of such materials.

The existing soil shall be graded to an elevation two inches (2") below the top of curbing with a slope to one (4:1) maximum slope.

Planting Season

The planting of trees, shrubs, and/or groundcover shall be performed during favorable weather conditions. Plant material which would be susceptible to loss under extreme conditions of heat or cold at initial planting, shall only be planted with permission requested in writing by the Sub-Contractor and approved by the Architect.

PART 2 - PRODUCTS

Commercial fertilizers shall be as follows:

Iron-Sul: Ground ferrous sulfate containing not less than 30% iron and not less than 30% sulphur as manufactured by Deval.

Agricultural grade gypsum.

Vitamin B-1 root stimulator.

Agriform planting tabs.

Organic amendments shall be as follows:

Mulch shall be approved nitrogenized saw dust or forest humus.

Tree stakes shall be 2"x2"x8' redwood, free-of knots and/or cracks.

Tree ties shall be wire of pliable zinc-coated iron of #10 gauge, provide a minimum of two (2) per tree.

Home covering shall be two-ply, reinforced, rubber garden hose of at least 1/2" diameter.

Law Headers shall be as noted and detailed in Drawings.

Trees, shrubs, and groundcovers from flats shall be grown in pots, tubs, cans, boxes, or flats as scheduled. Plants shall have sufficient roots to hold earth intact after rootball is removed from the container without being rootbound. Plants shall be approved or rejected at the Architect's discretion for damage, health, form, and size before planting. Plant materials that are poor in health or damaged prior to substantial completion and/or during the warranty period will be identified and shall be replaced by the Contractor within fourteen (14) days of written notice.

Tree paint shall be as manufactured by Ortho.

Pre-emergent herbicide shall be Surflan 75W as manufactured by Elanco Chemical Company.

Contact herbicide shall be Round-up as manufactured by Monsanto.

PART 3 - EXECUTION

Prepare site by applying Round-up as per label directions to weed growth on site. Scarify planting areas to a minimum depth of six inches (6"). Float beds to grade and rake to remove weeds, clods, or rocks one inch in diameter or greater. Thoroughly water settle all soil.

Beds for materials from flats shall have three (3) cubic yards of mulch, one hundred fifty (150) pounds of Gro-Power, and one hundred fifty (150) pounds of Gypsum per one thousand square feet (1000 S.F.), incorporated into the top six inches of the bed.

Granite groundcover areas shall be floated and raked to a finish subgrade prior to the installation of the granite.

Stake plant material locations prior to planting for approval by the Architect.

Pits for container grown plant material shall be excavated twice the size of the rootball of the plant being planted.

Remove plants from containers without disturbing the rootball. Set plants in pit, cradling and supporting the rootball. Position plant for the "best side" view and, for minimum obstruction to traffic on adjacent pavement.

Backfill pit with a blended mixture containing one part mulch, three parts native soil, one-half part gypsum, and one-fourth cup of Iron-Sul per cubic yard of backfill. When the plant is set and the backfill has been water settled, the top of the rootball shall be placed two inches below finish grade. Agriform tablets shall be placed approximately six inches (6") below finish grade in this process in quantity as shown on the Drawings.

An alternate method for the application of Iron-Sul for the planting of container plants would be to place:

1. one handful divided equally in six-one gallon plant pits
2. one handful divided equally in four-five gallon plant pits
3. one handful in each fifteen gallon plant pit
4. two handfuls in each 24" box plant pit
5. four handfuls in each 36" box plant pit

before backfilling and setting of the plant, so rootball does not contact concentrations of Iron-Sul.

Apply Vitamin B-1 Root Stimulator at the rate of one tablespoon per gallon.

Stake trees as per detail, detail, minimum, or as directed to properly support the plant material supplied.

Prune each tree and shrub to preserve the natural character of the plant per American Standard for Nursery Stock as published by the American Association of Nurserymen. Prune to remove all suckers, deadwood, and broken or badly bruised branches. Prune cuts over three-fourths (3/4) inch in diameter and exposed cambium of bruised areas with tree paint as specified herein.

Mulch all plant pits, shrub beds, and groundcover beds with a two inch (2") depth of mulch immediately after planting.

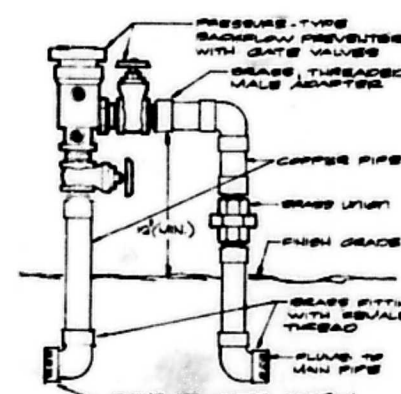
Decomposed granite shall be applied and raked to the finish grade. Thoroughly water settle the granite, to dissipate the fines and lightly roll. Apply Surflan Herbicide as per label directions to complete operation.

Clean-up

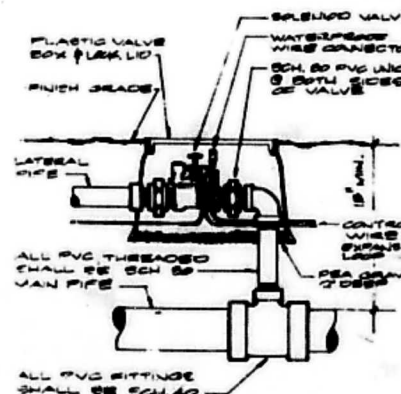
Remove all waste and debris, clean all pavement of soil and mulch created by operations in this scope of work from site.

Maintenance and Protection

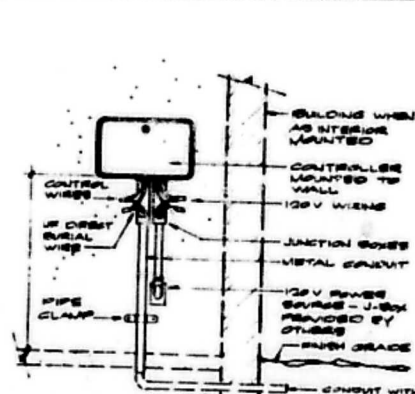
Maintenance shall begin immediately with the planting of each plant and continue through a period sixty (60) days after substantial completion. Substantial completion shall be documented in writing from the Contractor.



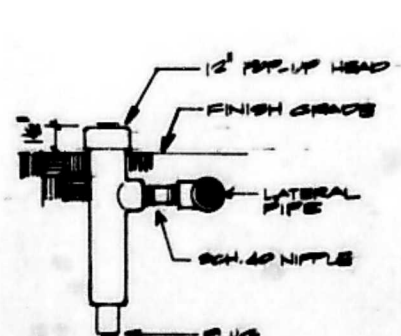
BACKFLOW PREVENTER



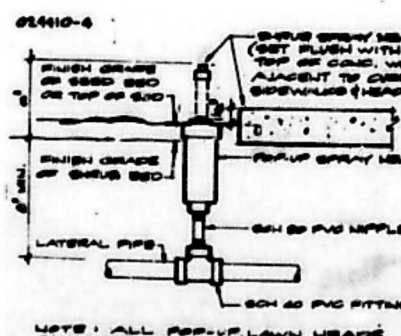
SOLENOID VALVE



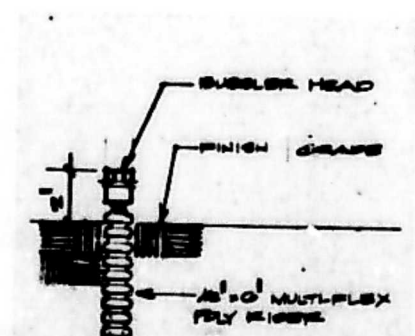
CONTROLLER



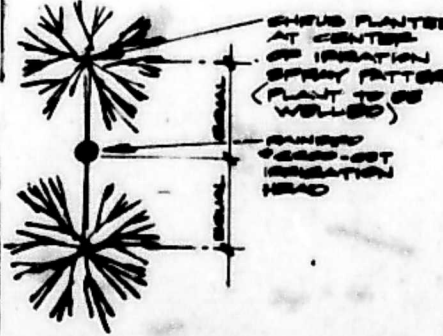
HI-POP UP SHRUB SPRAY



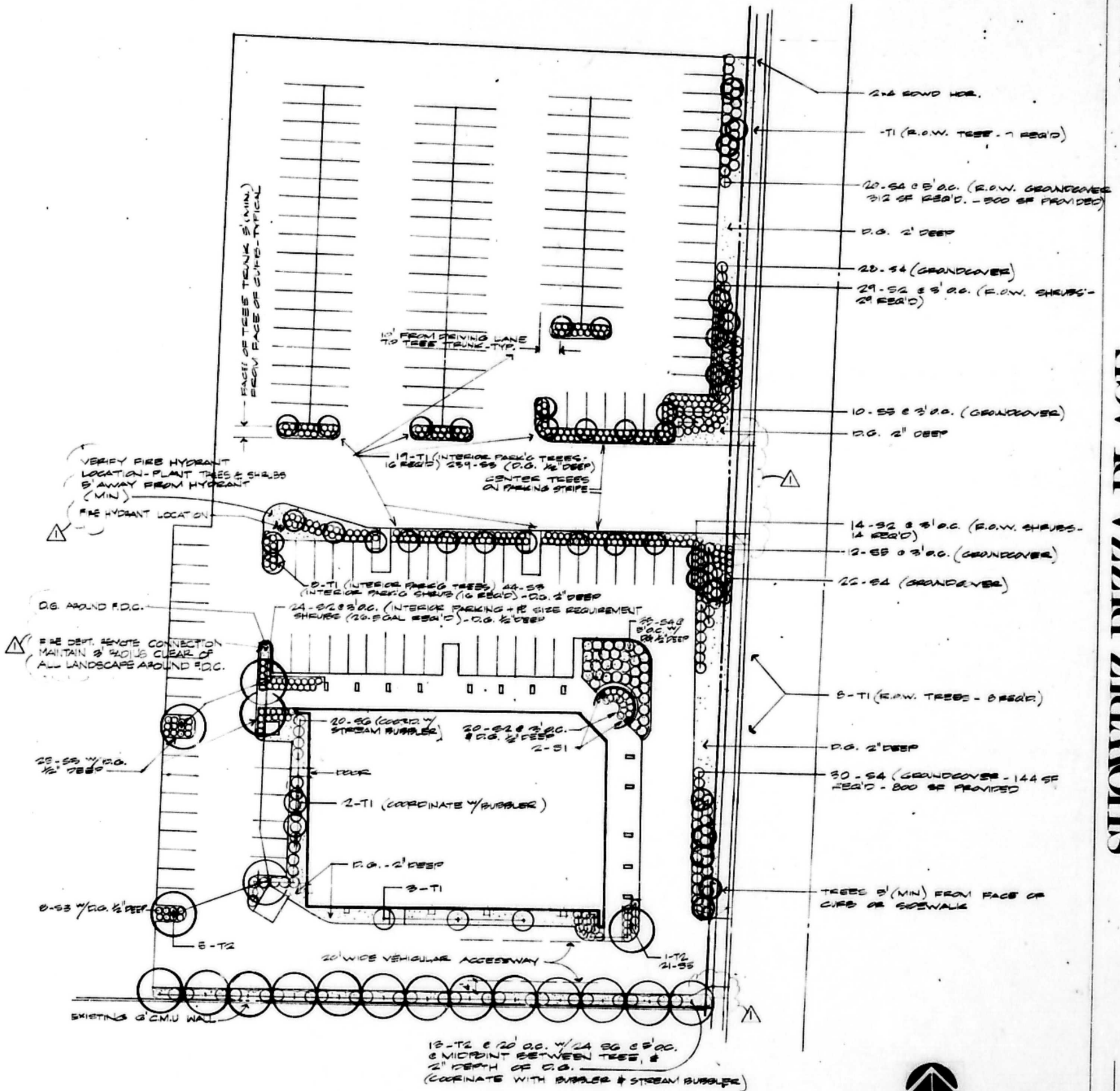
SPRAY HEADS



BUBBLER HEAD



COT SHRUB SPRAY



PLANTING PLAN

SCALE: 1" = 30'-0"

PLANT MATERIALS LIST

SYMBOL	QUAN.	COMMON NAME (BOTANICAL NAME)	SIZE	NOTES
T1	69	SOUR ORANGE (CITRUS AURANTIUM)	15 GAL.	PRUNE FOR 5' CLEAR TRUNK
T2	17	BOTTLETREE (BRACHYCHITON POPULIFOLIA)	150 GAL.	"
S1	2	PIG VINE (FICUS PUMILA)	5 GAL.	TRAIN TO WALL
S2	57	NATAL PLUM (CARIBBEA G. 'TUTTLEI')	5 GAL.	MAINTAIN AT 3' MAX. HEIGHT
S3	337	"	1 GAL.	"
S4	135	PROSTRATE NYMPH (NYMPHAEA PARVIFOLIUM)	1 GAL.	"
S5	22	TRAILING LANTANA (LANTANA MONTEVIDEENSIS)	1 GAL.	"
S6	44	JAPANESE PRIVET (LIGUSTRUM JAPONICUM)	1 GAL.	"
D.G.	12000SF	GOLDEN DECOMPOSED GRANITE	3/4" MINUS 1/4" OR 2" AS NOTED	"

UNBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE

DATE: 11/15/93
JOB NO. 93-01
PROJECT MGR. BY: [Signature]
DESIGNED BY: [Signature]
REVIEWED BY: [Signature]

REVISION DATES

856 S. ALMA SCHOOL RD.
S-M PIZZA INC. STORE NO. 2
2990 E. NORTHERN AVENUE · SUITE 100
PHOENIX, ARIZONA

815 EAST CAMELBACK ROAD SUITE 305
PHOENIX, ARIZONA 85014 · (602) 461-2617

Section 02760

IRRIGATION SYSTEM

Part 1 - GENERAL

Refer to Division 1 for General Requirements.

Work Specified Herein

This Section describes the labor, materials and installation requirements necessary to layout and install an automatic irrigation system adequate to irrigate plant materials of Section 02820.

Submittals

Contractor will provide one reproducible (sepi) plan of the irrigation layout to the Sub-Contractor before construction. Before substantial completion this plan shall be revised to represent the entire system as constructed in the field.

Submit all manufacturer's warranties along with date of purchase and supplier's invoice number for all equipment installed.

Provide written guarantee warranting the entire system for one year from completion for materials and workmanship.

Delivery, Storage and Handling

Store all materials under cover.

Job Conditions

Sub-Contractor shall provide a 100% coverage, complete automatic irrigation system as schematically diagrammed on the drawings. In-field layout shall provide heads at a consistent spacing not to exceed that shown on the plans for each type of head or an approved spacing, if there is an equipment substitution. Any major variation of in-field requirements to those specified in the drawings shall be reported to the Contractor before beginning construction.

Sub-Contractor shall verify the installation of allowing, if any, provided in other sections of work that will be used for irrigation.

PART 2 - PRODUCTS

Materials

Equipment shall be as noted on the plans.

Control wire shall be #14 UF-800V solid copper with pilot or "hot" wires of one color and "common" wires of another color.

Valve boxes and lids shall be as manufactured by Ameter, Intercontinental, or Roly.

Polyvinyl Chloride (PVC) Pipe shall be 1120/1120 normal impact, solvent weld type. Refer to Drawings for Pipe Class required.

PVC fittings shall be of same chemical compound as pipe on which it is installed. Use Schedule 40 medium wall fittings for all slip connections. Use Schedule 40 heavy wall fittings for all fittings with one or more threaded outlets.

PVC pipe solvent and primer shall be as recommended by the pipe manufacturer and fitting manufacturer.

Backflow prevention equipment shall meet all local code requirements.

PART 3 - EXECUTION

Installation

Equipment shall be installed as per details or approved manufacturer's details.

Trenches shall be excavated for minimum pipe depths of eight inches (8") for laterals and fifteen inches (15") for main pipes. Embedment for pipe shall be free of rubble or rocks. Expansion and contraction of pipe shall be compensated for as per pipe manufacturer's recommendations. Thoroughly water-settle all trench backfill.

Piping under concrete shall be installed by jacking, boring, or hydraulic driving.

Piping under asphalt shall be sleeved. Trench depth shall be twenty-four inches (24") below finish subgrade.

Solvent welding shall be accomplished with primer and solvent for main pipes and with solvent for lateral pipes as per manufacturer's recommendations.

Pipe cuts shall be square with burrs removed before installation.

All metal to plastic connections shall be by Schedule 40 PVC male adaptors.

Heads adjacent to pavement or curbs shall not exceed finish curb or pavement elevation in height.

Flushing, Testing, and Adjustment

After main pipe backflow preventer, and valves are installed, pipe shall be flushed with water and tested for leaks with static city water pressure. Contractor shall inspect main pipe for leaks before main is backfilled. When repairs are complete, the approved main pipe trench shall be backfilled.

Flush all laterals thoroughly before installing heads. Leaks in laterals shall be made watertight.

Automatic valve operation shall be tested by activation at the controller. Wiring and/or valves shall be repaired for proper operation as required.

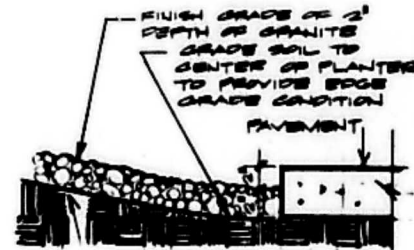
Adjust all heads for proper pattern, water flow, and distance. Adjust any pressure regulators to specified pressures or as directed in the field.

Maintenance

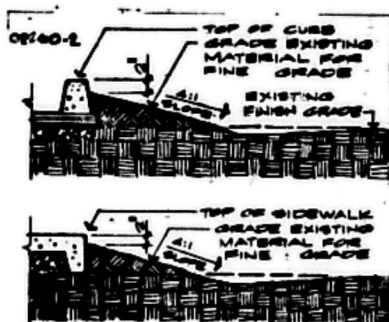
Sub-Contractor shall adjust heads in turf areas flush with settled, finish grade prior to final completion of planting operations as directed by the Contractor.

END OF SECTION

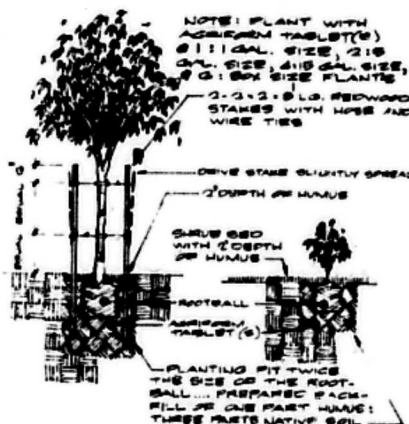
PLANTING DETAILS



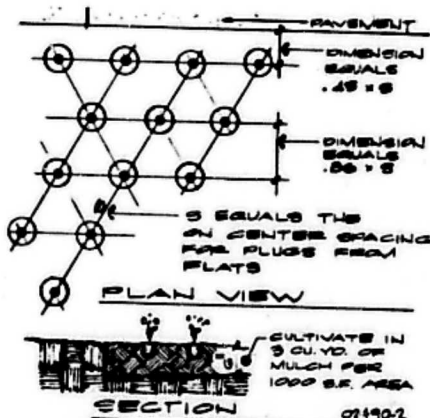
INCIDENTAL GRADING



INCIDENTAL GRADING



TREE & SHRUB PLANTING



GROUNDCOVER

IRRIGATION PLAN

IRRIGATION LEGEND

SYMBOL	MANUFACTURER AND DESCRIPTION
■	IRRI-TROL MC-6 CONTROLLER
●	RAINBIRD EP SERIES SOLENOID VALVE
○	STATION NUMBER
○	ESTIMATED FLOW (GPM)
○	SIZE OF VALVE
●	SMR 711-1/2\"/>
○	RAINBIRD 1812 SERIES POP-UP HEAD WITH NOZZLES AS KEYED BELOW
▽	RAINBIRD A-18 SHRUB SPRAY WITH NOZZLES AS KEYED BELOW
▽	N-1800 EST N-1800 CST B176Q B176H B176P B175TQ B15-SST
●	RAINBIRD 2200 STRIP PATTERN STREAM BUBBLER
●	RAINBIRD 1300-P BUBBLER
—	MAINPIPE, CLASS 160 PVC, MINIMUM
---	LATERAL PIPE, CLASS 160 PVC, MINIMUM

SCALE: 1" = 30'-0"



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.

S-M PIZZA INC. STORE NO. 2

2990 E. NORTHERN AVE. SUITE 100C

PHOENIX, AR

REVISION DATES

UMBERGER ASSOCIATES
LAND PLANNING ARCHITECTURE - LANDSCAPE ARCHITECTURE - 815 EAST C

DATE:

JOB NO.:

PROJECT NO.:

DRAWN BY:

REVIEWED BY:

L-2

PHOENIX, ARIZONA 85014 (602) 261-3617